

**CITY OF GENTRY  
PLANNING & ZONING COMMISSION  
REGULAR MEETING**

**THURSDAY, NOVEMBER 17, 2022**

**Public Hearing**

Special Use Permit- Tim Ellis- Parcel# 10-00474-000

**Public Hearing**

Special Use Permit- Ashley & Jacob Taylor- Parcel# 10-00148-121

**PLANNING COMMISSION**

- Roll Call
- Review of Minutes- October 20, 2022
  
- Tim Ellis- Special Use Permit- Parcel# 10-00474-000
- Ashley April & Jacob Matthew Taylor- Special Use Permit- Parcel# 10-00148-121
- RLP Development- Russe's Ridge Subdivision -2 Preliminary- Parcel# 10-00144-001
- 2VM22 Homes, LLC- Subdivision-1 Sketch- Parcel# 10-00095-000
- Main Street Village -Subdivision 3 Final- Parcel# 10-00658-000

**CITY OF GENTRY**  
**PLANNING & ZONING COMMISSION**

**THURSDAY, OCTOBER 20, 2022**

The Planning and Zoning Commission of the City of Gentry, Arkansas met on October 20, 2022 at 7:00 p.m. for a regular meeting in the Gentry Court Chambers. Chairman Mike Parks called the meeting to order by announcing the public hearing:

**PUBLIC HEARING**

**Rezone-Jose Manuel & Ruth Noemi Munoz-Parcel# 10-00659-000**

This request is brought before the planning and zoning commission to rezone the property located at S. Robin Rd. and Hwy 12 from R-2 to R-N. Commissioner's discussed the possibility that additional curbing may be required for the next phase.

There being no further discussion, this portion of the public hearing was closed.

**PUBLIC HEARING**

**Rezone- SVM22 Homes, LLC-Parcel#'s 18-13354-000 & 18-13356-00**

This request is to rezone from A-1 to R-2. Some concerns about drainage issues were raised from property owners in the area.

There being no further questions or comments, this portion of the public hearing was closed, and the regular planning and zoning commission meeting commenced with roll call:

## **PLANNING & ZONING**

**ROLL CALL:** Church- Present

Feemster- Present

Kooistra- Present

Williams- Present

Meyer- Absent

Parks- Present

Runyan- Absent

**Members Absent:** Wanda Meyer

Others present: Code Enforcement Officer, Mark Smithson; City Attorney-Joel Kurtz; Chamber of Commerce Director, Janie Parks, City Clerk- Jenny Trout, Chris Tilly (Engineer), Gary Riekes, and others.

**Review of the Minutes of the September 15, 2022 Regular Meeting:** After review:

**Motion:** Church- to approve the minutes as written

**Second:** Kooistra

**Roll Call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Parks-yes      Williams-yes      Runyan-pass

**Motion passed.**

1). **Jose Manuel & Ruth Neomi Munoz- Rezone- Parcel# 10-00659-000:** After review:

**Motion:** Williams- to approve the rezone

**Second:** Kooistra

**Roll Call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Parks-yes      Williams-yes      Runyan-yes

**Motion passed.**

2). **SVM22 Homes, LLC-Rezone- Parcel#'s 18-13354-000 & 18-13356-000:** After review:

**Motion:** Williams- to approve the rezone

**Second:** Feemster

**Roll call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Parks-yes      Williams-yes      Runyan-yes

**Motion passed.**

- 3). **Kristie & Kevin Shook- Lot Line Adjustment- Parcel# 18-13571-000:** After consideration:

**Motion:** Church- to approve the lot line adjustment

**Second:** Runyan

**Roll Call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Williams-yes      Runyan-yes      Parks-yes

**Motion passed.**

- 4). **Mai Kou Xiong- Tract Split- Parcel# 15-07467-001:** After review and consideration:

**Motion:** Williams- to deny the tract split without further information provided regarding the access road.

**Second:** Church

**Roll Call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Parks-yes      Williams-yes      Runyan-yes

**Motion passed; tract split denied.**

- 5). **David Bates & Paul Carter-Lot Line Adjustment-Parcel# 10-01146-000:** After review and consideration: It was decided a utility easement would need to be created, if lot line adjustment was approved.

**Motion:** Runyan- to approve the lot line adjustment conditioned on a revised plat reflecting an utility easement, before signing off

**Second:** Williams

**Roll Call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Parks-yes      Williams-yes      Runyan-pass

**Motion passed.**

- 6). **Main Street Village- Subdivision 3 Final- Parcel# 10-00658-000:** This matter was withdrawn from the agenda.

- 7). **Ryan's Place- Subdivision- 2 Preliminary- Parcel# 10-00086-000:** After review and discussion:

**Motion:** Williams- to approve the preliminary plat

**Second:** Kooistra

**Roll Call:** Church-yes      Feemster-yes      Kooistra-yes  
                 Williams-yes      Runyan-yes      Parks-yes

**Motion passed.**

There being no further business, Chairman Mike Parks entertained a motion to adjourn:

**Motion:** Church

**Second:** Feemster

**All in favor, none opposed.**

**Motion passed. Meeting adjourned.**

Jenny Trout: Planning Commission Secretary/City Clerk

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Mike Parks, Planning Commission Chairman

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# AFFIDAVIT OF PUBLICATION

I, Paola Lopez, solemnly swear that I am the Accounting Legal Clerk  
for the Northwest Arkansas Newspapers, LLC, and I do solemnly swear that  
the attached advertisement:

City of Gentry  
Special Use Permit - Ellis

was published in the following weekly paper(s):

☐ Bella Vista Weekly Vista  
☐ Pea Ridge Times  
☐ Siloam Springs Herald Leader  
☐ Siloam Sunday (Section of Arkansas Democrat Gazette)  
☒ Westside Eagle Observer

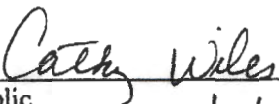
Of general and bona fide circulation in Benton County, Arkansas

Date(s) of Publication: November 2, 2022

Publication Charges: \$35.64

  
\_\_\_\_\_  
Paola Lopez

Subscribed and sworn to before me  
This 3 day of Nov, 2022.

  
\_\_\_\_\_  
Notary Public  
My Commission Expires: 2/20/24

**\*\*NOTE\*\***

Please do not pay from Affidavit.  
Invoice will be sent.

## Public Notice

You are hereby notified that a public hearing will be held before the Gentry Planning & Zoning Appeals Board on November 17, 2022 at 7:00 p.m. at the Gentry Council Chambers, located at 104 E Main Street, Gentry, AR 72734. This hearing is to consider a special use permit by Timothy Ellis for 317 South Collins Avenue, Gentry, AR 72734.

For those unable to attend the meeting, you may phone 479-736-2555 ext. 103 with comments. Written comments may be submitted to the City of Gentry, 101 W. Main Street, Gentry, AR 72734.  
November 2, 2022  
75616059 11/2/22

# Special Use Permit Application

City of Gentry  
101 W. Main St.  
Gentry, AR 72734  
(479)-736-2555  
(479)-736-2877 Fax



Application Instructions - Please fill this form out completely and submit all required information. There is a \$35.00 fee for appeal.

## PROPERTY INFORMATION:

## PERMIT NUMBER:

Property Address: 317 S Collins

Type of Use Proposed: Duplex

☒ Residential  
Circle One

☐ Commercial

Parcel # (if known) \_\_\_\_\_

## APPLICANT INFORMATION:

Applicant Name: Tim T. Ellis Phone Number: 479 861-4633

Address: 21135 Arkoter Rd. City/State: Arkoter Rd Siloam

## Owners of adjacent Properties:

Name: Robert Beer Mailing Address: 320 S Collins Gentry Ar

Name: Danny Kuser Mailing Address: 308 S Collins Gentry Ar

Name: Deborah Stripling Mailing Address: 309 S Collins Gentry Ar

Name: Anthony & Ale Carrreira Mailing Address: 102 W. 3rd St. Gentry Ar

Name: Jared & Stephanie Henning Mailing Address: 316 S. Giles Ave

(Please continue on back if more.)

A notice of a public hearing by the Planning Commission on the proposed will be published in the paper at least fifteen (15) days prior to the public hearing. The city shall post a sign which states, "Special use permit requested for this property," in a prominent place within the street right-of-way at the front of the property. The Planning Commission shall determine the nature and condition of all adjacent uses and structures and whether the proposed use will cause no change, an improvement, or an adverse effect upon the adjacent property relative to traffic volume, noise, sight, sound, aesthetic value, and economic value. All special use permits shall be reviewed one year from the time of issue and annually thereafter by the Planning Commission. The holder of the special use permit shall be notified of all annual and special reviews by certified mail at least fifteen (15) days prior to review.

Tim Ellis Oct  
Signature of Owner Date

## OFFICE USE ONLY

Permit	Check <u>1002</u>	Cash	Credit Card	Total
<u>3829</u>	Surcharge	Card Holder	Penalty	<u>\$35.00</u>



CITY OF GENTRY  
101 W. MAIN ST., GENTRY, AR 72734  
**Residential Building Permit Application**  
Phone: 479-736-2555 Inspection Phone: 479-212-0632

Site Address: 317 S. Collins

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ # of Units: 2 # of Stories: 1

Single Family: ☐ Duplex: ☒ Multi-Family: ☐

Additions: Garage: ☐ Barn: ☐ (Attached) Carport: ☐ Patio Cover: ☐ Sunroom: ☐  
Storage: ☐ Other: ☐

Alterations: Renovations: ☐ Repairs: ☐ Remodels: ☐ Other: ☐

Accessory Structures: Storm Shelter: ☐ Carport: ☐ Deck: ☐ Fence: ☐

Gazebo: ☐ Green House: ☐ Other: ☐

**Property Owner Information**

Property Owner Name: Tim Ellis  
Address: 601 Steele Ct. Gentry AR 72734  
Phone: 479-861-4633  
Email: N/A

**Contractors Information**

Contractors Name: George Ellis License #: CA 03700923  
Mailing Address: 21135 Arlway Rd  
Physical Address: Same  
Office Phone: 479- Cell Phone: \_\_\_\_\_  
Email: \_\_\_\_\_  
Contact Person: Tim Ellis Contact Phone: 479-861-4633

**Structure Information**

New: Heated SQ Feet: 2400 Garage: 400 sq ft Total SQ Feet: 2800 sq ft  
Other: \_\_\_\_\_ Approximate Construction Cost: \_\_\_\_\_

Existing: Heated SQ Feet: \_\_\_\_\_ Garage: \_\_\_\_\_ Total SQ Feet: \_\_\_\_\_  
Other: \_\_\_\_\_ Approximate Construction Cost: 240,000

**Subcontractor's List**

Plumber: Steve Ellis License: AP 4628 Phone: 479-547-8915  
Electrician: Rob Smith License: RM 500 Phone: 479-238-6102  
Heating & Air-conditioning: Paul Arnold License: \_\_\_\_\_ Phone: 479-957-0640

**For Office Use Only**

Setbacks: \_\_\_\_\_ Approval Date: \_\_\_\_\_ Zoning: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Flood Plain: ☐ YES ☐ NO

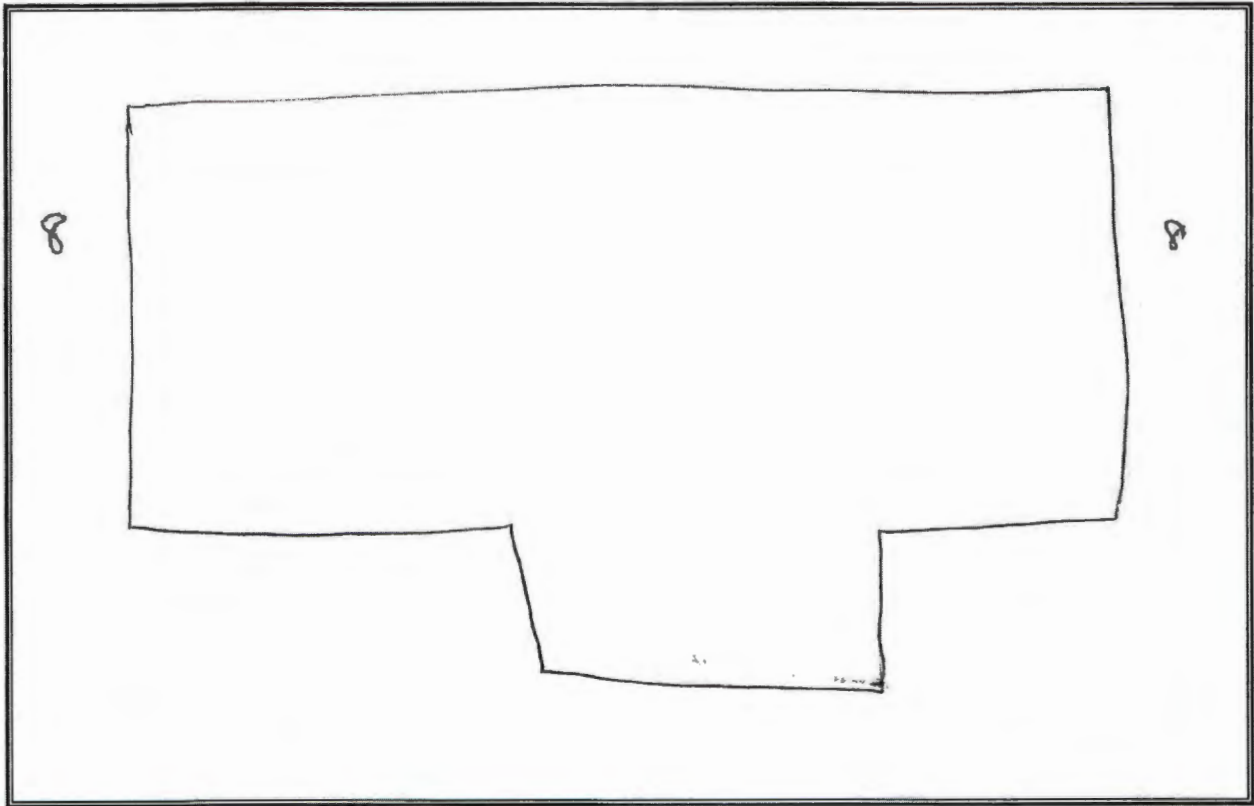
Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

Mayor: \_\_\_\_\_ Date: \_\_\_\_\_

Permit: \_\_\_\_\_ Receipt: \_\_\_\_\_ Total: \$ \_\_\_\_\_ Date Denied: \_\_\_\_\_ Date Issued: \_\_\_\_\_



Use this box as a replica of your building lot, show location, size and number of feet from the property lines on new construction.



Additional Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I (We), hereby certify that no part of this work has been started, and I (we), assume full responsibility for compliance with all City building, plumbing, electric, mechanical and sanitary requirements. It is understood and agreed by this applicant that any error, misstatement, or misrepresentation of material fact, or expression of material fact, either with or without intention on the part of this applicant, such as might, or would operate to cause a refusal of this application, or any material alteration or change in the accompanying plans, specifications, or structure made subsequent to the issuance of a Permit in accordance with this application without the approval of the Building Inspector, shall constitute sufficient ground for revocation of such Permit.

Date of Application: Oct-20-2022 Date Construction is to Begin: ASAP- October

Signature of Applicant: George Ellis contractor: ☒ owner: ☒

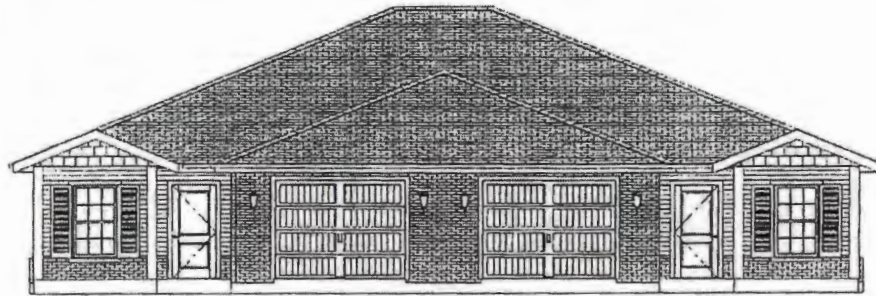
Tom Ellis

1621  
Sold

George Elton  
317. S. Collins

lots 33A  
23R

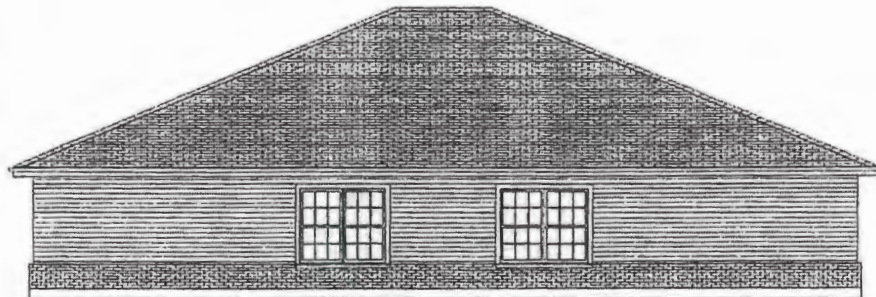
1733 & 1621  
Central



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

LANE CROSNO DESIGNS

DUPLEX PLAN  
ELEVATION 2  
KIM BAUMANN &  
Michael Crosno

LEFT DUPLEX PORTAGE	
LEFT FLOOR	1,181
PORCH	64
GARAGE	293
TOTAL	1,538

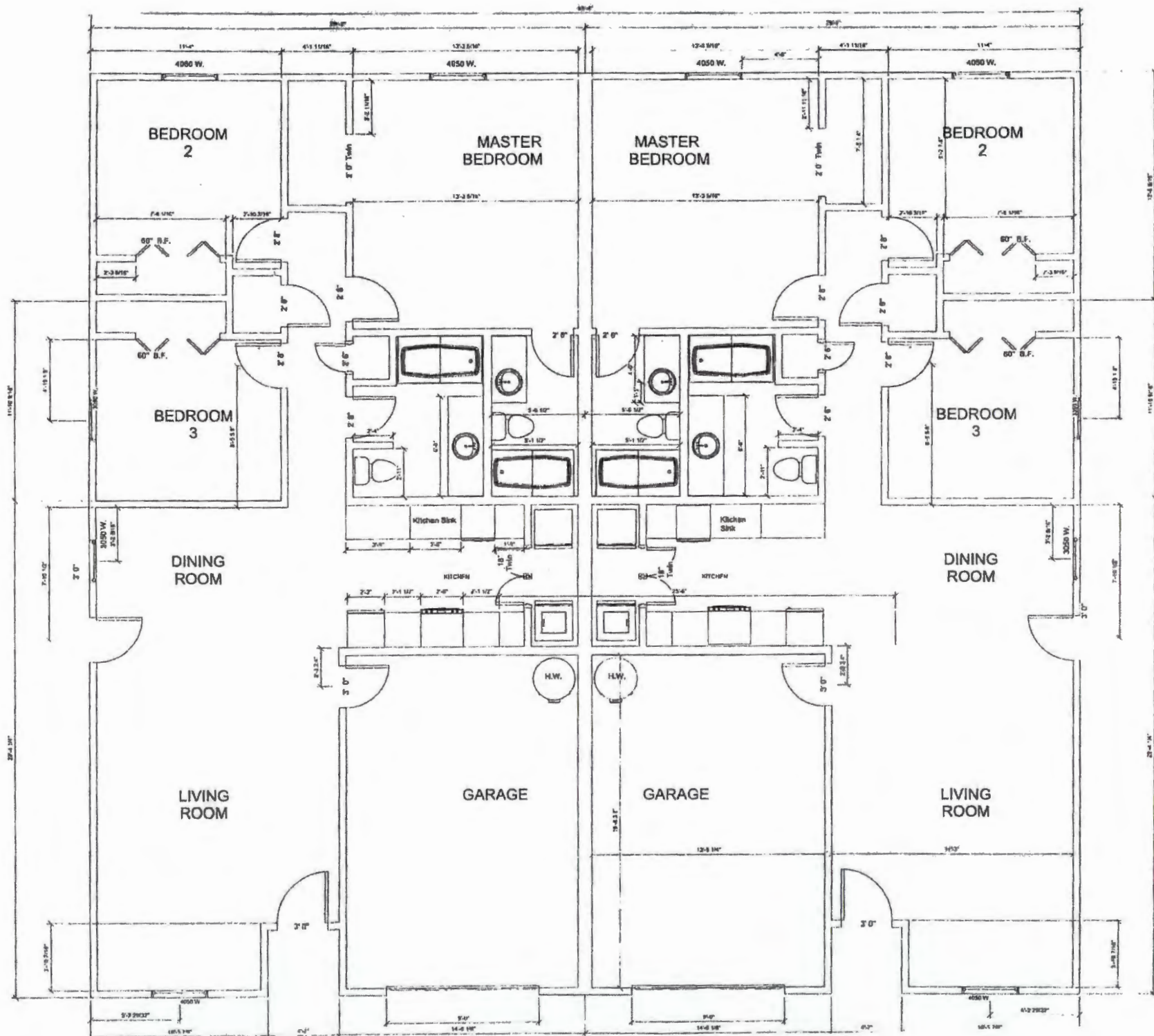
RIGHT DUPLEX PORTAGE	
RIGHT FLOOR	1,086
PORCH	59
GARAGE	281
TOTAL	1,426

These plans provide ideas and concepts and are not intended to be complete in all respects and details. Variations in material, brand, and type of window and door, and use of different materials and finishes can change costs. Varying local codes, ordinances, regulations, requirements, and the layout of site, mechanical, and plumbing systems can also change costs. Lane Crosno Designs shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.

DATE:  
3/7/2019

SCALE:  
1/8" = 1"

SHEET:  
2 of 2





# AFFIDAVIT OF PUBLICATION

I, Paola Lopez, solemnly swear that I am the Accounting Legal Clerk  
for the Northwest Arkansas Newspapers, LLC, and I do solemnly swear that  
the attached advertisement:

City of Gentry  
Special Use Permit - Taylor

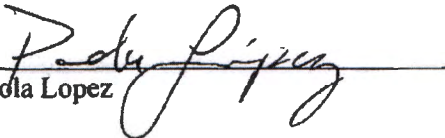
was published in the following weekly paper(s):

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☐ Pea Ridge Times  
☐ Siloam Springs Herald Leader  
☐ Siloam Sunday (Section of Arkansas Democrat Gazette)  
☒ Westside Eagle Observer

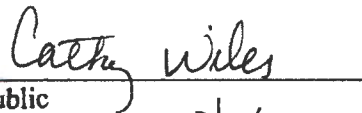
Of general and bona fide circulation in Benton County, Arkansas

Date(s) of Publication: November 2, 2022

Publication Charges: \$37.08

  
Paola Lopez

Subscribed and sworn to before me  
This 3 day of NOV, 2022.

  
Notary Public  
My Commission Expires: 2/20/24

Cathy Wiles  
Benton COUNTY  
NOTARY PUBLIC - ARKANSAS  
My Commission Expires 02-20-2024  
Commission No. 12397118

**\*\*NOTE\*\***

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Invoice will be sent.

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You are hereby notified that a public hearing will be held before the Gentry Planning & Zoning Appeals Board on November 17, 2022 at 7:00 p.m. at the Gentry Council Chambers, located at 104 E Main Street, Gentry, AR 72734. This hearing is to consider a special use permit by Jacob and Ashley Taylor for 12359 South Edmondson Rd, Gentry, AR 72734. For those unable to attend the meeting, you may phone 479-736-2555 ext. 103 with comments. Written comments may be submitted to the City of Gentry, 101 W. Main Street, Gentry, AR 72734. November 17, 2022 75615323 Nov. 2, 2022

CITY OF GENTRY  
101 W. MAIN ST., GENTRY, AR 72734  
**Residential Building Permit Application**  
Phone: 479-736-2555 Inspection Phone: 479-212-0632

Site Address: 12359 S. Edmonson Rd

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ # of Units: \_\_\_\_\_ # of Stories: \_\_\_\_\_

Single Family: ☐ Duplex: ☒ Multi-Family: ☐

Additions: Garage: ☐ Barn: ☐ (Attached) Carport: ☐ Patio Cover: ☐ Sunroom: ☐  
Storage: ☐ Other: ☐

Alterations: Renovations: ☐ Repairs: ☐ Remodels: ☐ Other: ☐

Accessory Structures: Storm Shelter: ☐ Carport: ☐ Deck: ☐ Fence: ☐  
Gazebo: ☐ Green House: ☐ Other: ☒ Shop/House

**Property Owner Information**

X Property Owner Name: JALOB + ASHLEY TAYLOR  
Address: 12359 S. EDMONSON RD  
Phone: (619) 309-7144 JALOB CELL (619) 396-3093 ASHLEY CELL  
Email: ASHLEYATAYLOR619@GMAIL.COM

**Contractors Information**

X Contractors Name: MAYWELL BARN CO License #: 0384590321  
Mailing Address: 19123 Nokes Farm Road, SILOAM SPRING, AR 72761  
Physical Address: SAME  
Office Phone: (918) 688-6136 Cell Phone: SAME  
Email: Dennisg.maxwell@gmail.com  
Contact Person: \_\_\_\_\_ Contact Phone: \_\_\_\_\_

**Structure Information**

X New: Heated SQ Feet: 1850 Garage: 125 Total SQ Feet: 2500  
Other: - Approximate Construction Cost: \$ 106,400  
  
Existing: Heated SQ Feet: \_\_\_\_\_ Garage: \_\_\_\_\_ Total SQ Feet: \_\_\_\_\_  
Other: \_\_\_\_\_ Approximate Construction Cost: \_\_\_\_\_

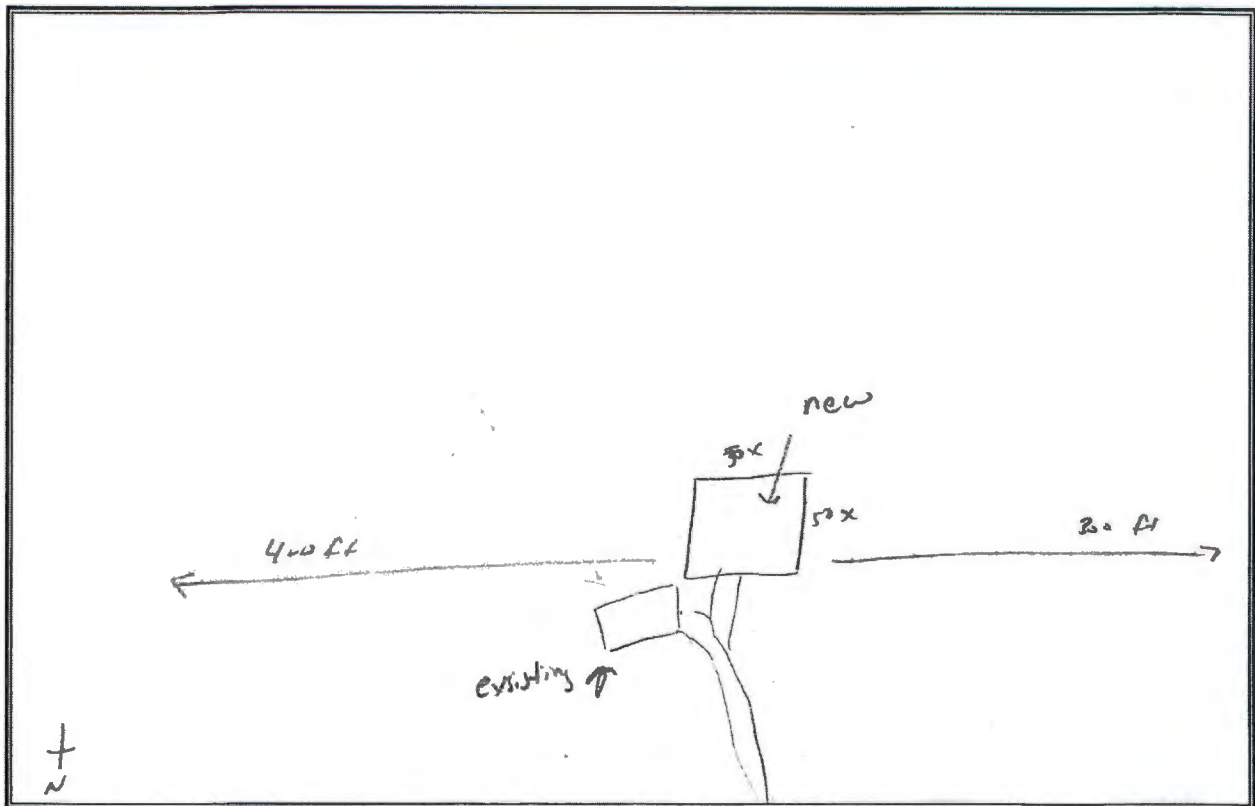
**Subcontractor's List**

X Plumber: Gentry Plumbing Inc License: MP5325 Phone: 441-957-6167  
Electrician: \_\_\_\_\_ License: \_\_\_\_\_ Phone: \_\_\_\_\_  
Heating & Air-conditioning: \_\_\_\_\_ License: \_\_\_\_\_ Phone: \_\_\_\_\_

**For Office Use Only**

Setbacks: \_\_\_\_\_ Approval Date: \_\_\_\_\_ Zoning: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Flood Plain: ☐ YES ☐ NO  
Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_  
Mayor: \_\_\_\_\_ Date: \_\_\_\_\_  
  
Permit: \_\_\_\_\_ Receipt: \_\_\_\_\_ Total: \$ \_\_\_\_\_ Date Denied: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Use this box as a replica of your building lot, show location, size and number of feet from the property lines on new construction.



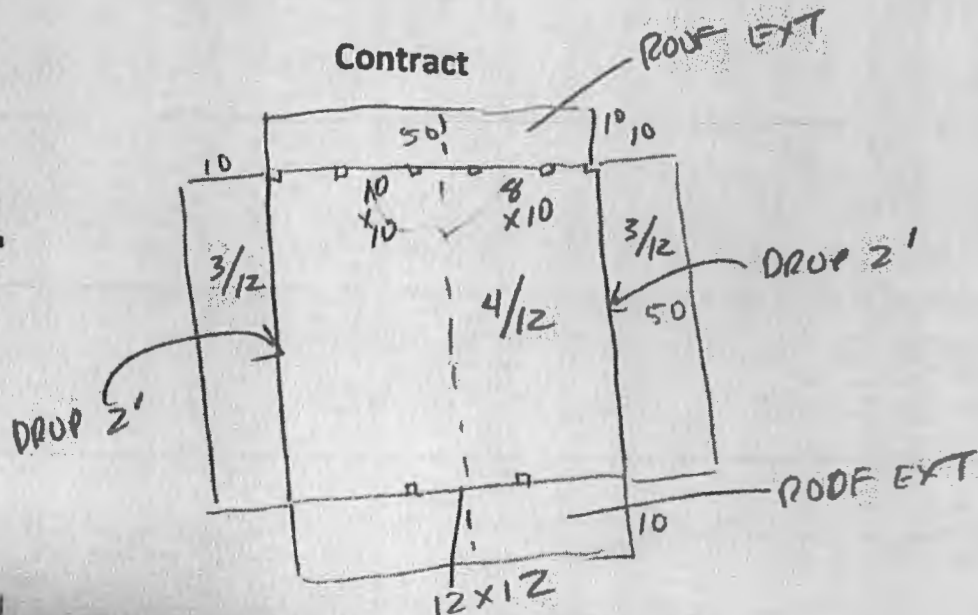
Additional Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I (We), hereby certify that no part of this work has been started, and I (we), assume full responsibility for compliance with all City building, plumbing, electric, mechanical and sanitary requirements. It is understood and agreed by this applicant that any error, misstatement, or misrepresentation of material fact, or expression of material fact, either with or without intention on the part of this applicant, such as might, or would operate to cause a refusal of this application, or any material alteration or change in the accompanying plans, specifications, or structure made subsequent to the issuance of a Permit in accordance with this application without the approval of the Building Inspector, shall constitute sufficient ground for revocation of such Permit.

Date of Application: 3 OCT 22 Date Construction is to Begin: Early November

Signature of Applicant: Ashley Arroyo contractor: ☐ owner: ☒





Customer JACOB & ABILEY TAYLOR Date 9-29-22  
 Building Size: Gable 50 Side 50 Height 14 Roof Pitch 4/12 Permit B.C.  
 Lean To or Additions (2) 10' x 50' ROOF EXTENSIONS  
(2) 10' x 50' OPEN LEAN TO SHEDS  
 Square Building with FIBER  
 Overhead Doors (1) 12' x 12', (1) 10' x 10', (1) 10' x 8' INSULATED RAISED PANEL WHITE  
 Walk Doors 2 @ 10' x 8' Windows 11  
 Wall Color ALUMINO Roof Color COLORADO Trim Color COLORADO  
 Wainscott Color NO Length NA Soffit NO 12" or 16"  
 Concrete INDSR ALL  
 Post Sleeves YES-INT Other \_\_\_\_\_  
 Gutter to be added later? \_\_\_\_\_ Double Bubble Foil Insulation? YES INT

**Our standard building specifications:**

Roof purlins are 2x4 at 2' apart, wall girts (ribs): 2x6 at 2', bottom girt (floor form for concrete): Treated 2x6.  
 Post are treated 6x6 posts approximately 3" in the ground on 10' centers with plastic 5' post sleeves optional. Windows and doors must be planned around post pattern.  
 Trusses: Engineered on 5' centers with 2x6 top and bottom chords and bracing. Windows are white double pane vinyl.  
 Walk Doors are raised panel primed metal doors with knob and deadbolt. Includes rot free bottom portion and metal trim to cover all wood. Overhead doors are insulated white raised panel unless otherwise noted.  
 Interior height from top of floor to bottom of truss will be about 1' less than sidewall height.  
 29-gauge 40-year limited paint warranty

Concrete slab is 4" of 3500 psi remesh reinforced concrete and includes plastic and termite pretreat on all interiors.

Total: \$ 91,200 Plus Fill (Price good for 14 days) \$ 45,600 Half due upon order

Second half \$ \_\_\_\_\_ +Fill \$ \_\_\_\_\_ +Adds \$ \_\_\_\_\_ Final Pay \$ \_\_\_\_\_

Maxwell Barn Company

Customer

Fill needed for uneven ground or pad is not include except one load of screenings.

Builders risk Insurance on material and structure is homeowner's responsibility.

Extra material will be ordered and not be charged to homeowner and will be removed at end of job.

We do our best to limit damage to surrounding areas, but some ruts may be unavoidable especially if a drive is not provided.

Extra charge of up to \$25 per hole may be accessed if jackhammer is needed.

# Gentry Plumbing Inc. DB.

Trey Wilmoth Plumbing & Septic

P.O. Box 1149

Gentry, AR 72734

479-957-6867

## Bid

Submitted on 03/22/2022

### Invoice for

Ashley Taylor

12359 S Edmondson Rd.

Gentry, AR

### Payable to

Gentry Plumbing Inc.

### Invoice #

### Project

### Due date

Description	Qty	Unit price	Total price
This BID includes all materials needed for rough in, top out, and to set fixtures provided by home owner. Including instillation of 2 wall hydrants and water yard line service.	1	\$9,900.00	\$9,900.00
Install septic system as per plans	1	\$5,300.00	\$5,300.00
			\$0.00

Notes:

This BID does not include any gas service instillation.

Subtotal

**\$15,200.00**

Adjustments

**\$15,200.00**

## 93 Excavation

PO Box 790  
West Fork, Arkansas, 72774  
479-466-0998

Date	Description	Cost
02/08/22	Backhoe Fees for perk test	250.00
	For Taylor	
	12359 S Edmondson	
	Total	250.00
	Paid	
	Balance	

Make checks payable to Scott Tillery

Or Venmo @SCOTT-TILLERY-93

Thank You for your business!

## Water & Environmental Testing

PO Box 790  
West Fork, Arkansas 72774  
479-466-6117

Date	Description	Cost
02/08/22	Septic System Design	400.00
	12359 S Edmondson	
	For Taylor	
	Permit Fee	45.00
	Total	445.00
	Paid	
	Balance	

Venmo @Linda-Tillery

Thank You for your business!

Linda Mayo Tillery  
Water D4 & T1, WasteWater III  
Designated Representative #1451570





Arkansas Department of Health  
Environmental Health Protection

Receipt Number

Individual Onsite Wastewater System Permit Application

Permit Type ☒ New Installation  
☐ Alteration / Repair

DR Environmental ID #

7 2 0 1 1 4 8 3 7 7

Fee Schedule for Structures		v
Structures 1500 sq ft or less	\$ 30.00	<input type="checkbox"/>
Structures more than 1500 sq ft and up to 2000 sq ft	\$ 45.00	<input checked="" type="checkbox"/>
Structures more than 2000 sq ft and up to 3000 sq ft	\$ 90.00	<input type="checkbox"/>
Structures more than 3000 sq ft and up to 4000 sq ft	\$ 120.00	<input type="checkbox"/>
Structures more than 4000 sq ft	\$ 150.00	<input type="checkbox"/>
Alteration and Repair	\$ 30.00	<input type="checkbox"/>

Part 1 Application

Treatment Type (check one)

Disposal Method (check one)

☒ STD = Standard Septic Tank ☐ ATU = Aerobic Treatment Plant ☒ STD = Standard Absorption Field ☐ LPD = Low Pressure Distribution  
☐ ISF = Intermittent Sand Filter ☐ RSF = Re-circulating Sand Filter ☐ SUR = Surface Discharge ☐ HLD = Holding Tank  
☐ PMF = Proprietary Media Filter ☐ RGF = Re-circulating Gravel Filter ☐ CPF = Capping Fill ☐ SRL = Serial Distribution  
☐ OTH = Other (Describe) ☐ HLD = Holding Tank ☐ OTH = Other ☐ DRP = Drip Irrigation

1. Owner's/Applicant's Name Jacob and Ashley Taylor ashleytaylor619@gmail.com 10-00148-121		2. Phone Number 619-396-3093	
3. Mailing Address 12359 S Edmondson, Gentry, Ar 72734		4. County Washington	
5. Address of Proposed System (If a 911 address is not available, attach detailed directions or map) 12359 S Edmondson - Hwy12W to Gentry to S Edmondson T/L to site on right existing house			
6. Subdivision Name NA	7. Approval Date	8. Date Recorded	9. Lot Number NA
10. Lot Dimensions 330x660x330x660	11. Total Area (Acres) 5	12. # Bedrooms # People 2	13. Daily Flow (GPD) 270
14. Brief Legal Description of Property (Attach a separate sheet of paper, if necessary) SW NE 11-18-33			
15. Water Supply (Specify supplier, if Public Water) Gentry		16. GPS Coordinates 36 15'12 94 27'51	

17. Loading Rates	(gpd/ft <sup>2</sup> )	18. System Specifications					
Primary Area	0.75	a. Size of Septic Tank	1000	gal	f. Trench Depth	18	inches
Secondary Area	0.84	b. Size of Dose Tank	NA	gal	g. Trench Spacing	10	feet
Percolation Test	(min/in)	c. Absorption Area	360	ft <sup>2</sup>	h. Trench Media (List Below)		
Primary Area Avg		d. Number of Field Lines	2		pipe and Gravel		
Secondary Area		e. Length of Field Lines	90	ft	EZ Flow 1201P		
					i. Trench Width	24	in
						18	in

TO THE OWNER

The permit for construction may be deemed invalid by the local Environmental Health Specialist before the start of construction, if the site and/or soil conditions have changed after approval of this permit, or if the information within this permit is inaccurate or has been found to be misrepresented. Approval for operation does not constitute a guarantee that the system will function properly. The approval states that the system was designed and installed according to the Arkansas Department of Health, Rules and Regulations Pertaining to Onsite Wastewater Systems, unless there are exceptions or deviations noted in the comments. A Permit for Construction is valid for one (1) year from the date of approval. The authorized agent must revalidate a permit more than one (1) year old prior to the start of any construction.

19. Utilization Verification

I hereby attest that item 12, the number of bedrooms (number of persons for commercial) and square footage of the structure that will utilize the designed individual onsite wastewater system in this permit application, is accurate. I have reviewed the permit application and understand the layout, installation, maintenance, operation and expense(s) that may be associated with this system.

Owner/Applicant Signature OPTA Date \_\_\_\_\_

20. I certify that I have conducted the above tests and that the above listed information is in accordance with the latest requirements of the Arkansas Department of Health Rules and Regulations Pertaining to Onsite Wastewater Systems.

Linda Mayo Tillery  
Designated Representative Signature

Designated Representative Title Soil Certified ☒ Yes ☐ No

Linda Mayo Tillery  
Print Name

2/8/2022  
Date

479-466-6117  
Phone Number

21. Approval of Health Authority

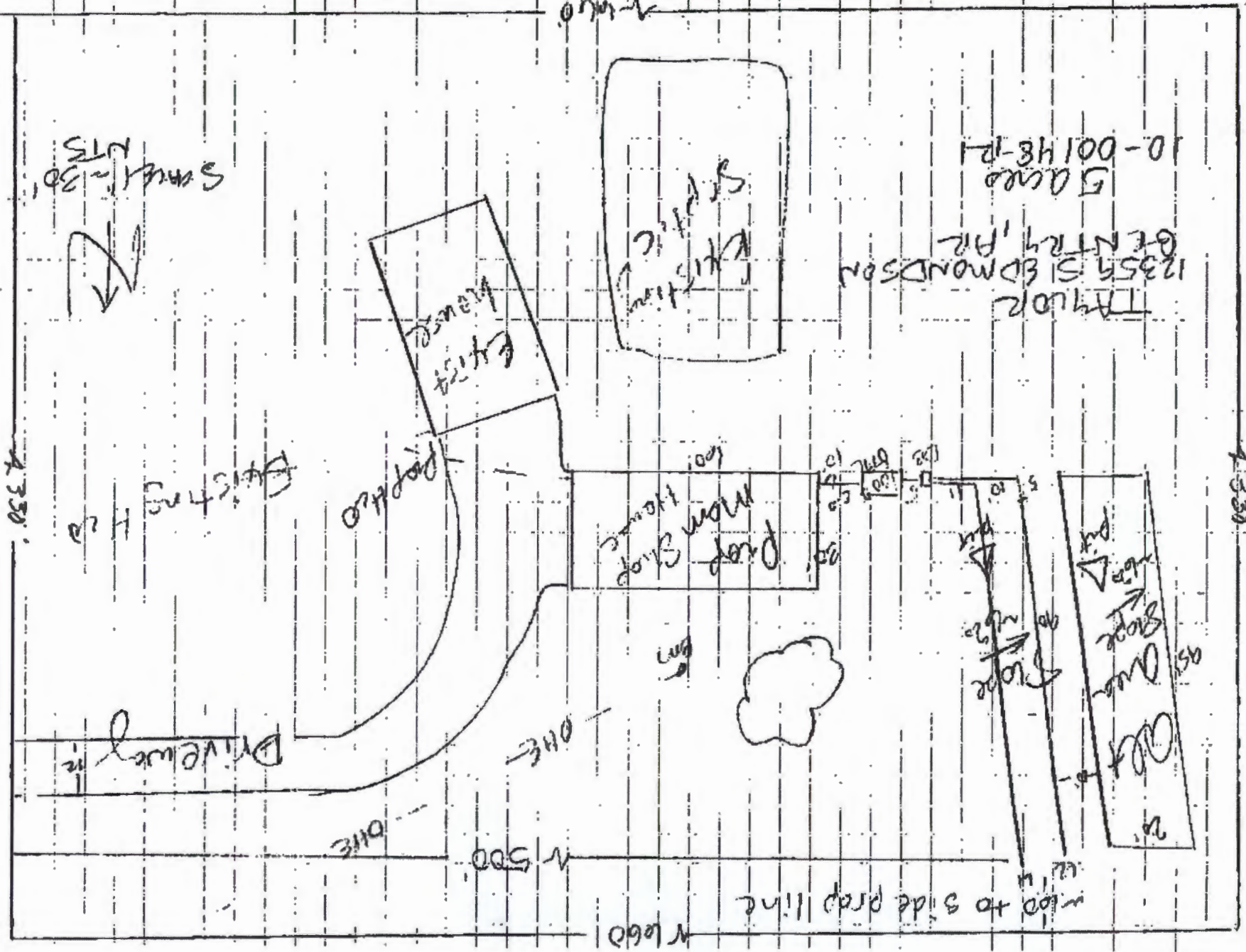
The information and specifications in the application has been reviewed and found to meet the requirements of the Arkansas Department of Health Rules and Regulations Pertaining To Onsite Wastewater Systems. A PERMIT FOR CONSTRUCTION is hereby issued.

Environmental Specialist Signature

EHS Number

Date

Owner/Applicant Signature Ashley Taylor



Scale 1" = 30'  
N

1350'

Living Room

Driveway

100'

100'

100'

100'

Bedroom

Kitchen

100' to side prop line

100' to side prop line

100' to side prop line

1350'



## **Taylor Septic Design Specifications**

### **Tanks**

- Designed for Concrete 1000 Gallon Septic Tank
- Designed for Concrete D-Box with 8 holes

### **Lateral Line Specs**

- Distance to Clean out is 3ft.
- Distance from Clean Out to Tank is 7ft
- Distance from Tank to D-Box is 5ft
- Distance from D-Box to Line 1 is 11ft
- Bench Mark on base of electric pole – 0'0
- Water –0'0

### **Pipe Specifications**

- Designed for 2 lines at 90ft each with 10' centers on contour
- Stub-out from house is 4" SCH 40 PVC
- Use 5 ft of solid pipe Sch40 from tight line to beginning of perforated line
- All tight lines are PVC Schedule 40
- Pipe and Gravel Lateral Lines are 4 inch perforated PVC ASTM D-2729 or ASTM F810 with washed gravel in trenches 18" deep and 24" wide OR EZFlow 1201P in trenches 18" deep and 18" wide

	Ground Elev Beg,mid, end	Flow Line Elev. Beginning	Flow Line Middle	Flow Line End
Stub Out	4'9	5'1		
Tank In	4'9	5'6		
Tank Out	4'9	5'9		
D-Box in	5'3	5'10		
D-Box out	5'3	6'0		
Line 1	6'0	7'6	7'6	7'6
Line 2	6'6	8'0	8'0	8'0

**Maintain Level Trench Bottoms**

# Special Use Permit Application

City of Gentry  
101 W. Main St.  
Gentry, AR 72734  
(479)-736-2555  
(479)-736-2877 Fax



Application Instructions - Please fill this form out completely and submit all required information. There is a \$35.00 fee for appeal.

## PROPERTY INFORMATION:

## PERMIT NUMBER:

Property Address: 12359 S. Edmonson Rd, Gentry AR

Type of Use Proposed: Shop/House Mother-in-law Dwelling

☒ Residential ☐ Commercial  
Circle One

Parcel # (if known) 16-00148-121

## APPLICANT INFORMATION:

Applicant Name: Jacob + Ashley Taylor Phone Number: (619) 309-7144

Address: 12359 S. EDMONSON RD City/State: GENTRY, AR

## Owners of adjacent Properties:

Name: LARRY, Wanda Edmonson Mailing Address: 19378 Dawn Hill E. Rd.

Name: Brayson, Phillip, Joyce Mailing Address: 12350 S. Edmonson

Name: Brayson, Ray Deau, Barbara Mailing Address: 12358 S. Edmonson

Name: \_\_\_\_\_ Mailing Address: \_\_\_\_\_

Name: \_\_\_\_\_ Mailing Address: \_\_\_\_\_

(Please continue on back if more.)

A notice of a public hearing by the Planning Commission on the proposed will be published in the paper at least fifteen (15) days prior to the public hearing. The city shall post a sign which states, "Special use permit requested for this property," in a prominent place within the street right-of-way at the front of the property. The Planning Commission shall determine the nature and condition of all adjacent uses and structures and whether the proposed use will cause no change, an improvement, or an adverse effect upon the adjacent property relative to traffic volume, noise, sight, sound, aesthetic value, and economic value. All special use permits shall be reviewed one year from the time of issue and annually thereafter by the Planning Commission. The holder of the special use permit shall be notified of all annual and special reviews by certified mail at least fifteen (15) days prior to review.

Ashley Taylor  
Signature of Owner

12-1-22  
Date

## OFFICE USE ONLY

Permit	Check _____	Cash	Credit Card	Total
	Surcharge	Card Holder	Penalty	
<u>3766</u>		<u>Ashley Taylor</u>		<u>\$ 35.00</u>

CITY OF GENTRY  
101 W. MAIN ST., GENTRY, AR 72734  
**Residential Building Permit Application**  
Phone: 479-736-2555 Inspection Phone: 479-212-0632

Site Address: 12359 S. Edmonson Rd

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ #of Units: \_\_\_\_\_ # of Stories: \_\_\_\_\_

Single Family: ☐ Duplex: ☒ Multi-Family: ☐

Additions: Garage: ☐ Barn: ☐ (Attached) Carport: ☐ Patio Cover: ☐ Sunroom: ☐  
Storage: ☐ Other: ☐

Alterations: Renovations: ☐ Repairs: ☐ Remodels: ☐ Other: ☐

Accessory Structures: Storm Shelter: ☐ Carport: ☐ Deck: ☐ Fence: ☐  
Gazebo: ☐ Green House: ☐ Other: ☒ Shop/House

**Property Owner Information**

Property Owner Name: JALOB + ASHLEY TAYLOR  
Address: 12359 S. EDMONSON RD  
Phone: (619) 309-7144 JALOB CELL (619) 396-3093 ASHLEY CELL  
Email: ASHLEY ATAYLOR 619@GMAIL.COM

**Contractors Information**

Contractors Name: MAXWELL BARN CO License #: 0384590321  
Mailing Address: 19123 N. Hwy Farm Road, SILCARY SPRING, AR 72761  
Physical Address: SAME  
Office Phone: (918) 688-6136 Cell Phone: SAME  
Email: Dennis@maxwellbarn.com  
Contact Person: \_\_\_\_\_ Contact Phone: \_\_\_\_\_

**Structure Information**

New: Heated SQ Feet: 1250 Garage: 1250 Total SQ Feet: 2500  
Other: - Approximate Construction Cost: \$ 106,400  
Existing: Heated SQ Feet: \_\_\_\_\_ Garage: \_\_\_\_\_ Total SQ Feet: \_\_\_\_\_  
Other: \_\_\_\_\_ Approximate Construction Cost: \_\_\_\_\_

**Subcontractor's List**

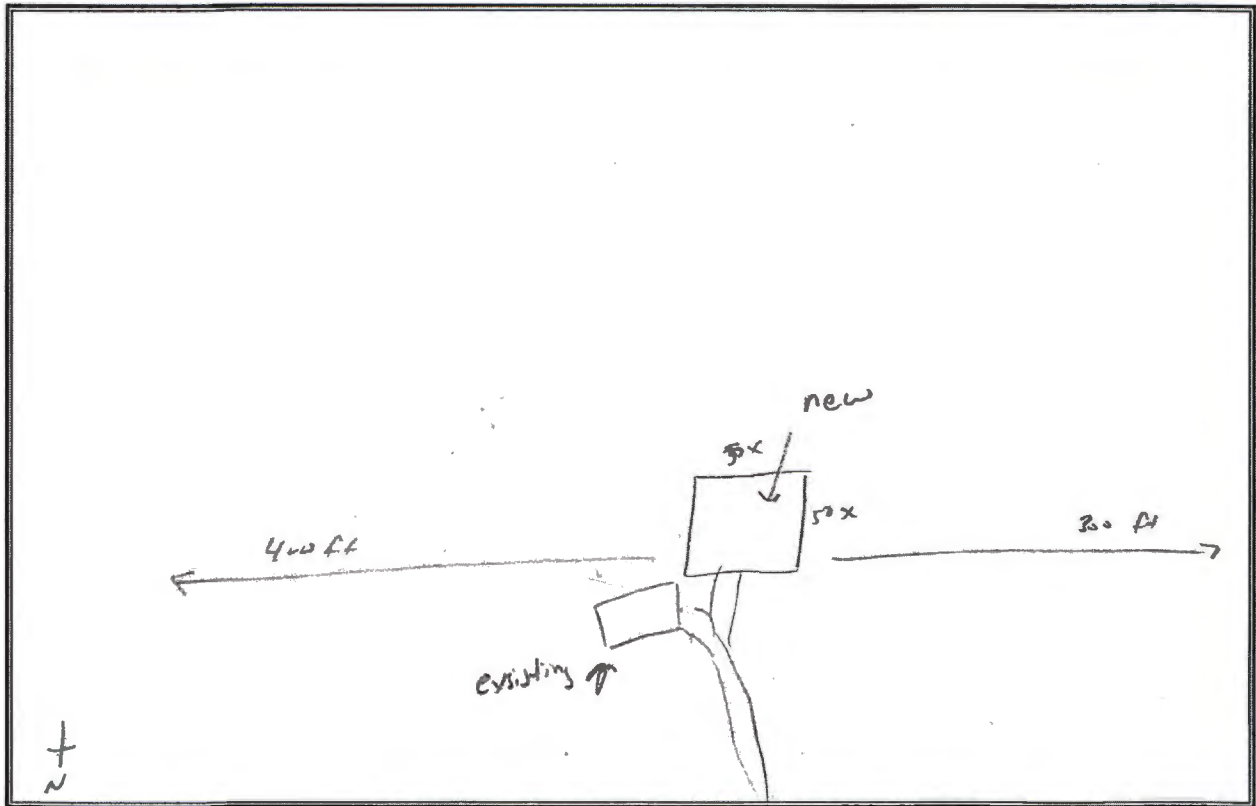
Plumber: Gentry Plumbing Inc License: MP5325 Phone: 441-157-6067  
Electrician: \_\_\_\_\_ License: \_\_\_\_\_ Phone: \_\_\_\_\_  
Heating & Air-conditioning: \_\_\_\_\_ License: \_\_\_\_\_ Phone: \_\_\_\_\_

**For Office Use Only**

Setbacks: \_\_\_\_\_ Approval Date: \_\_\_\_\_ Zoning: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Flood Plain: ☐ YES ☐ NO  
Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_  
Mayor: \_\_\_\_\_ Date: \_\_\_\_\_  
Permit: \_\_\_\_\_ Receipt: \_\_\_\_\_ Total: \$ \_\_\_\_\_ Date Denied: \_\_\_\_\_ Date Issued: \_\_\_\_\_



Use this box as a replica of your building lot, show location, size and number of feet from the property lines on new construction.

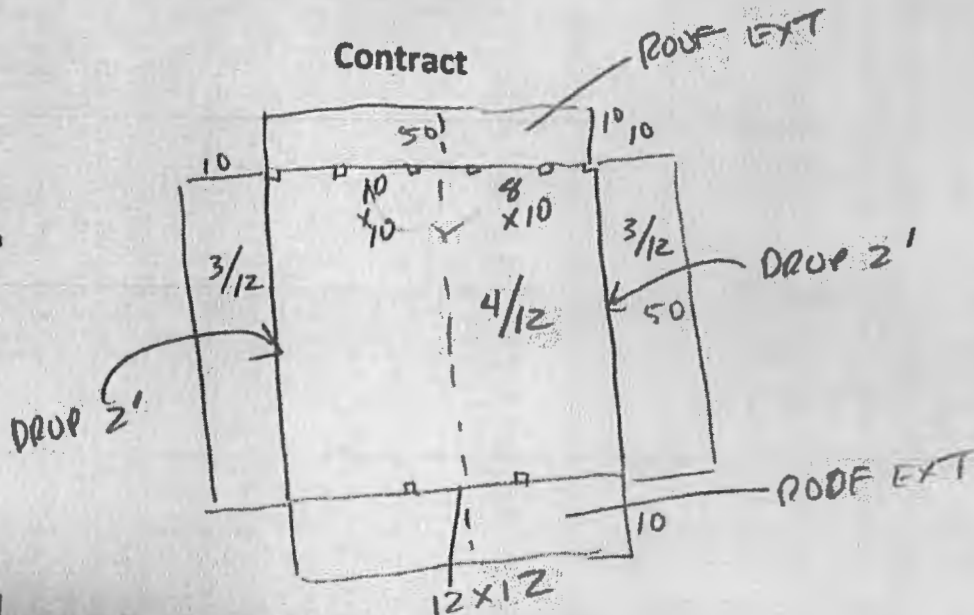


Additional Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I (We), hereby certify that no part of this work has been started, and I (we), assume full responsibility for compliance with all City building, plumbing, electric, mechanical and sanitary requirements. It is understood and agreed by this applicant that any error, misstatement, or misrepresentation of material fact, or expression of material fact, either with or without intention on the part of this applicant, such as might, or would operate to cause a refusal of this application, or any material alteration or change in the accompanying plans, specifications, or structure made subsequent to the issuance of a Permit in accordance with this application without the approval of the Building Inspector, shall constitute sufficient ground for revocation of such Permit.

Date of Application: 30 OCT 22 Date Construction is to Begin: Early November

Signature of Applicant: Ashley Aragon contractor: ☐ owner: ☒



Customer JACOB & ABILEY TAYLOR Date 9-29-22  
 Building Size: Gable 50 Side 50 Height 14 Roof Pitch 4/12 Permit B.C.  
 Lean To or Additions (2) 10' X 50' ROOF EXTENSIONS  
(2) 10' X 50' OPEN LEAN TO SHEDS  
 Square Building with FIBER  
 Overhead Doors (1) 12' X 12', (1) 10' X 10', (1) 10' X 8' INSULATED RAISED PANEL WHITE  
 Walk Doors 2 8' X 6' - 2 6' X 6' Windows 11  
 Wall Color ALUMINO Roof Color ALUMINO Trim Color COLUMBIA  
 Wainscott Color NO Length NA Soffit NO 12" or 16"  
 Concrete UNDER ALL  
 Post Sleeves YES - INT Other \_\_\_\_\_  
 Gutter to be added later? \_\_\_\_\_ Double Bubble Foil Insulation? YES INT

**Our standard building specifications:**

Roof purlins are 2x4 at 2' apart, wall girts (ribs): 2x6 at 2', bottom girt (floor form for concrete): Treated 2x6.  
 Post are treated 6x6 posts approximately 3' in the ground on 10' centers with plastic 5' post sleeves optional. Windows and doors must be planned around post pattern.  
 Trusses: Engineered on 5' centers with 2x6 top and bottom chords and bracing. Windows are white double pane vinyl.  
 Walk Doors are raised panel primed metal doors with knob and deadbolt. Includes rot free bottom portion and metal trim to cover all wood. Overhead doors are insulated white raised panel unless otherwise noted.  
 Interior height from top of floor to bottom of truss will be about 1' less than sidewall height.  
 29-gauge 40-year limited paint warranty  
 Concrete slab is 4" of 3500 psi rebar reinforced concrete and includes plastic and termite pretreat on all interiors.

Total: \$ 91,200 Plus Fill (Price good for 14 days) \$ 45,600 Half due upon order  
 Second half \$ \_\_\_\_\_ + Fill \$ \_\_\_\_\_ + Adds \$ \_\_\_\_\_ Final Pay \$ \_\_\_\_\_

Maxwell Barn Company

Customer

Fill needed for unlevel ground or pad is not include except one load of screenings.  
 Builders risk insurance on material and structure is homeowner's responsibility.

Extra material will be ordered and not be charged to homeowner and will be removed at end of job.

We do our best to limit damage to surrounding areas, but some ruts may be unavoidable especially if a drive is not provided.

Extra charge of up to \$25 per hole may be assessed if jackhammer is needed.

# Gentry Plumbing Inc. DB.

Trey Wilmoth Plumbing & Septic

P.O. Box 1149

Gentry, AR 72734

479-957-6867

## Bid

Submitted on 03/22/2022

### Invoice for

Ashley Taylor

12359 S Edmondson Rd.

Gentry, AR

### Payable to

Gentry Plumbing Inc.

### Invoice #

### Project

### Due date

Description	Qty	Unit price	Total price
This BID includes all materials needed for rough in, top out, and to set fixtures provided by home owner. Including instillation of 2 wall hydrants and water yard line service.	1	\$9,900.00	\$9,900.00
Install septic system as per plans	1	\$5,300.00	\$5,300.00
			\$0.00

Notes:

This BID does not include any gas service instillation.

Subtotal

**\$15,200.00**

Adjustments

**\$15,200.00**



## 93 Excavation

PO Box 790  
West Fork, Arkansas, 72774  
479-466-0998

Date	Description	Cost
02/08/22	Backhoe Fees for perk test	250.00
	For Taylor	
	12359 S Edmondson	
	Total	250.00
	Paid	
	Balance	

Make checks payable to Scott Tillery

Or Venmo @SCOTT-TILLERY-93

Thank You for your business!

## Water & Environmental Testing

PO Box 790  
West Fork, Arkansas 72774  
479-466-6117

Date	Description	Cost
02/08/22	Septic System Design	400.00
	12359 S Edmondson	
	For Taylor	
	Permit Fee	45.00
	Total	445.00
	Paid	
	Balance	

Venmo @Linda-Tillery

Thank You for your business!

Linda Mayo Tillery  
Water D4 & T1, WasteWater III  
Designated Representative #1451570



Arkansas Department of Health  
Environmental Health Protection

Receipt Number

Individual Onsite Wastewater System Permit Application

Permit Type

- ☒ New Installation  
☐ Alteration / Repair

DR Environmental ID #

7 2 0 1 1 4 8 3 7 7

Fee Schedule for Structures

Structures	Fee	Y
Structures 1500 sq ft or less	\$30.00	<input type="checkbox"/>
Structures more than 1500 sq ft and up to 2000 sq ft	\$45.00	<input checked="" type="checkbox"/>
Structures more than 2000 sq ft and up to 3000 sq ft	\$90.00	<input type="checkbox"/>
Structures more than 3000 sq ft and up to 4000 sq ft	\$120.00	<input type="checkbox"/>
Structures more than 4000 sq ft	\$150.00	<input type="checkbox"/>
Alteration and Repair	\$30.00	<input type="checkbox"/>

Part 1 Application

Treatment Type (check one)

Disposal Method (check one)

- ☒ STD = Standard Septic Tank ☐ ATU = Aerobic Treatment Unit ☒ STD = Standard Absorption Field ☐ LPD = Low Pressure Distribution  
☐ ISF = Intermittent Sand Filter ☐ RSF = Re-circulating Sand Filter ☐ SUR = Surface Discharge ☐ HLD = Holding Tank  
☐ PMF = Proprietary Media Filter ☐ RGF = Re-circulating Gravel Filter ☐ CPF = Capping Fill ☐ SRL = Serial Distribution  
☐ OTH = Other (Describe) ☐ HLD = Holding Tank ☐ OTH = Other ☐ DRP = Drip Irrigation

1. Owner's/Applicant's Name  
Jacob and Ashley Taylor ashleytaylor619@gmail.com 10-00148-121

2. Phone Number  
619-396-3093

3. Mailing Address  
12359 S Edmondson, Gentry, Ar 72734

4. County  
Washington

5. Address of Proposed System (If a 911 address is not available, attach detailed directions or map)  
12359 S Edmondson - Hwy12W to Gentry to S Edmondson TIL to site on right existing house

6. Subdivision Name  
NA

7. Approval Date

8. Date Recorded

9. Lot Number  
NA

10. Lot Dimensions  
330x660x330x660

11. Total Area (Acres)  
5

12. # Bedrooms # People  
2

13. Daily Flow (GPD)  
270

14. Brief Legal Description of Property (Attach a separate sheet of paper, if necessary)  
SW NE 11-18-33

15. Water Supply (Specify supplier, if Public Water)  
Gentry

16. GPS Coordinates  
36 15'12 94 27'51

17. Loading Rates	(gpd/ft <sup>3</sup> )	18. System Specifications					
Primary Area	0.75	a. Size of Septic Tank	1000	gal	f. Trench Depth	18	inches
Secondary Area	0.64	b. Size of Dose Tank	NA	gal	g. Trench Spacing	10	feet
Percolation Test	(min/in)	c. Absorption Area	360	ft <sup>2</sup>	h. Trench Media (List Below)		i. Trench Width
Primary Area Avg		d. Number of Field Lines	2		pipe and Gravel		24 in
Secondary Area		e. Length of Field Lines	90	ft	EZ Flow 1201P		18 in

TO THE OWNER

The permit for construction may be deemed invalid by the local Environmental Health Specialist before the start of construction, if the site and/or soil conditions have changed after approval of this permit, or if the information within this permit is inaccurate or has been found to be misrepresented. Approval for operation does not constitute a guarantee that the system will function properly. The approval states that the system was designed and installed according to the Arkansas Department of Health, Rules and Regulations Pertaining to Onsite Wastewater Systems, unless there are exceptions or deviations noted in the comments. A Permit for Construction is valid for one (1) year from the date of approval. The authorized agent must revalidate a permit more than one (1) year old prior to the start of any construction.

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Owner/Applicant Signature

Date

20. I certify that I have conducted the above tests and that the above listed information is in accordance with the latest requirements of the Arkansas Department of Health Rules and Regulations Pertaining to Onsite Wastewater Systems.

*Linda Mayo Tillery*  
Designated Representative Signature

Designated Representative

Soil Certified

☒ Yes ☐ No

Title

Linda Mayo Tillery

2/8/2022

479-466-6117

Print Name

Date

Phone Number

21. Approval of Health Authority

The information and specifications in the application has been reviewed and found to meet the requirements of the Arkansas Department of Health Rules and Regulations Pertaining To Onsite Wastewater Systems. A PERMIT FOR CONSTRUCTION is hereby issued.

Environmental Specialist Signature

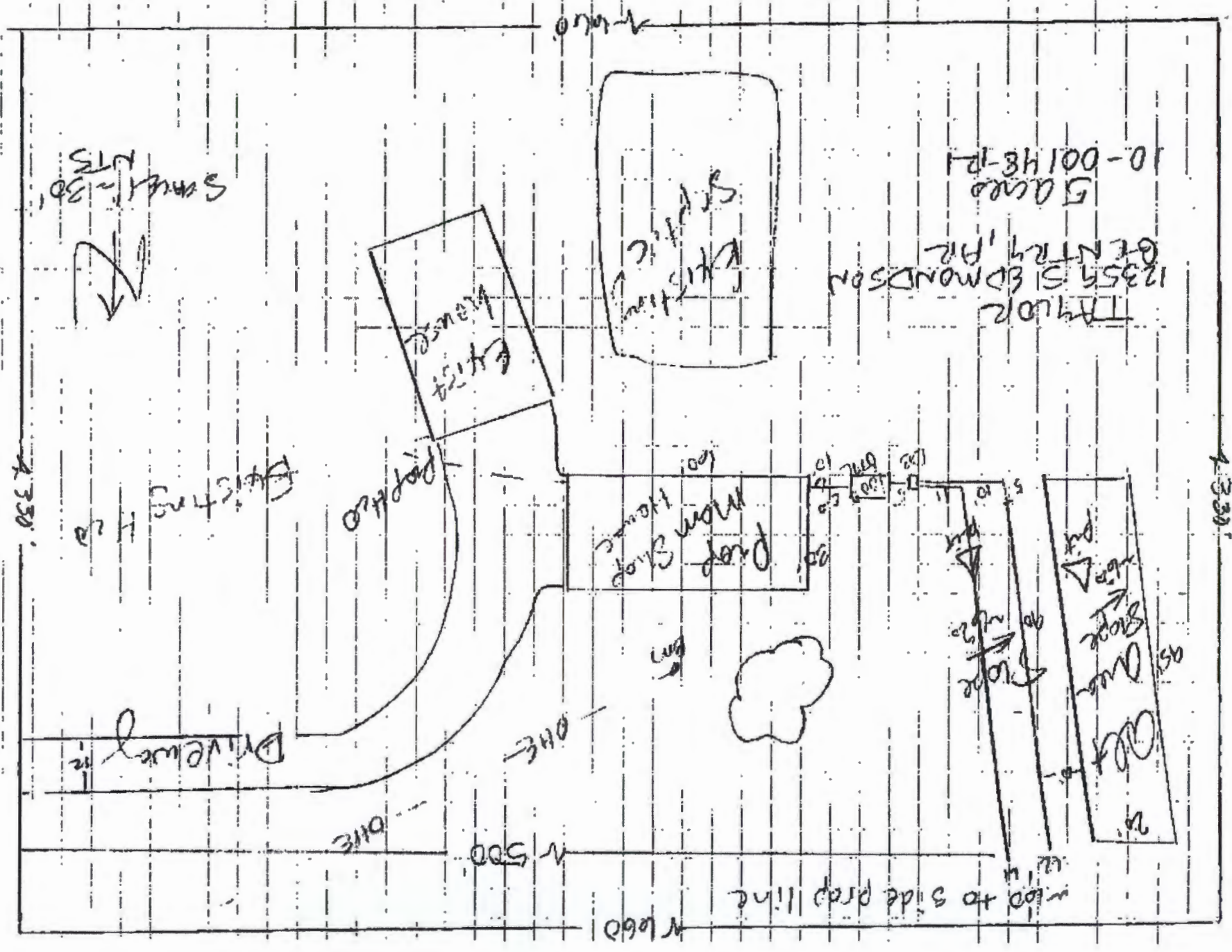
EHS Number

Date

Owner/Applicant Signature

*Ashley Taylor*





## **Taylor Septic Design Specifications**

### **Tanks**

- Designed for Concrete 1000 Gallon Septic Tank
- Designed for Concrete D-Box with 8 holes

### **Lateral Line Specs**

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- Water –0'0

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- Designed for 2 lines at 90ft each with 10' centers on contour
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Tank In	4'9	5'6		
Tank Out	4'9	5'9		
D-Box in	5'3	5'10		
D-Box out	5'3	6'0		
Line 1	6'0	7'6	7'6	7'6
Line 2	6'6	8'0	8'0	8'0

**Maintain Level Trench Bottoms**

CITY OF GENTRY  
SUBDIVISION CHECKLIST  
PRELIMINARY PLAT

SUBDIVISION NAME <b>Russ' Ridge</b>				OWNERS NAME <b>RLP Developments, LLC</b>		DATE SUBMITTED <b>11/07/2022</b>	DATE COMPLETED & ACCEPTED
STREET ADDRESS  <b>Hwy 59</b>				OWNERS ADDRESS  <b>P.O. Box 3207</b>		FEE PAID  <del>\$500.00</del> <b>\$217.00</b>	
ZONING <b>SP</b>	SECTION <b>10</b>	RANGE <b>33</b>	TOWNSHIP <b>18</b>	CITY, STATE, ZIP <b>Bentonville, AR 72712</b>		PHONE NUMBER <b>(479) 530-2337</b>	# OF LOTS <b>117</b>

If a proposed Preliminary Plat fails to meet all requirements, it may be disqualified by the Planning Commission and shall not be re-submitted for consideration by the Planning Commission until the deficiencies have been addressed by the Developer. Otherwise, approval of the Preliminary Plat will be evidenced by the signature of the Chairman or acting Chairman of the Planning Commission.

REVIEW STAGE PRELIMINARY	REQUIRED ITEMS All required items listed below will be included.
XXXXXXXXXXXX	1. Name of Subdivision & Subdivider
	2. Written legal description of the property
	3. Current zoning of property
	4. Names, addresses & telephone number of the owner, developer, surveyor and engineer
	5. Scale of plat shall be one inch equals 200 feet, one inch equals 100 feet, or one inch equals 50 feet depending upon the size of the property.
	6. Date of the plat and application
	7. A vicinity map showing the location of the property to be subdivided within the City's planning area.
	8. The location and size of all existing utilities and proposed utilities to be utilized by the subdivision. Engineering certification will be required with respect to the adequacy and suitability of existing (or upgraded) utilities with respect to the additional service requirements of the subdivision.
	9. Location, name and kind of surface of each existing and/or platted street and utility easement, public open space and permanent buildings within the subdivision
	10. Topography at two-foot intervals for grades less than ten percent and at five-foot intervals for grades (of) ten percent and more
	11. Identify intended use for lots on which other than residential uses are proposed
	12. Building setback lines
	13. A drainage report executed by an engineer duly licensed by the State of Arkansas, including information related to current drainage condition of the property and addressing drainage changes that will be caused by the development. Such report shall include a certification by the engineer that the proposed development will not adversely affect drainage with respect to either the upstream or downstream properties.
	14. Street, sidewalk & curb design shown & designed per ordinance #2005-572 Sec.2.
	15. Standard street lights shall be installed at each intersection and along one side of each street at an interval to be determined by the Planning Commission.
	16. Signatures of Authorities having jurisdiction over Utility, Street and Fire issues are required.

The subdivider shall submit to the Planning Commission an application for preliminary plat approval and 6 copies of the preliminary plat together with the supporting data at least 10 days prior to the meeting. Of the Planning Commission at which consideration is requested. The preliminary plat and approval shall include the required items above.



CITY OF GENTRY  
SUBDIVISION CHECKLIST  
PRELIMINARY PLAT

Signatures of Authorities having jurisdiction.

Utility	
Street	
Fire	

PLANNING OFFICIALS SIGNATURE AND DATE	
	DENIED      REASON: _____
	APPROVED - NO STIPULATIONS
	APPROVED WITH THE FOLLOWING STIPULATIONS: 1. _____ 2. _____ 3. _____

Issued For Review - 11.07.22

#### INDEX OF SHEETS

1. Cover Sheet, Vicinity Map, Index
2. General Notes And Legend
3. Overall Site Plan
4. Preliminary Plat
5. Preliminary Plat
6. Grading Plan
7. Grading Plan

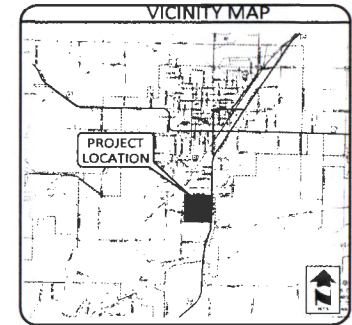
November 2022

## Preliminary Plat

for

## RUSS' RIDGE

## Gentry, Benton County, Arkansas



SP SPECIAL PLAN MINIMUM SETBACK REQUIREMENTS (FL)				
Front	Side		Rear	
	Interior	Ext. Back To Side		
25'	5'	15'	10'	

#### FLOOD CERTIFICATION:

Based Upon Review Of FEMA Firm, Benton County, Arkansas And Incorporated Areas, And By Graphic Plotting Only, The Subject Property Is Determined To Be In Zone X, Or Areas Determined To Be Outside The 0.2% Annual Chance Floodplain.

Map Number: 05007CD2152  
Effective Date: Sept. 28, 2007



HALFF ASSOCIATES, INC.  
2407 SE COTTONWOOD ST. STE 1 • BENTONVILLE, AR 72712 • 479.273.2209 • HALFF.COM

**Owner/Developer**  
RLP Developments, LLC  
PO Box 3207  
Bentonville, AR 72712  
Telephone: (479) 530 2337

**Engineer**  
Joanne Johnson, PE  
2407 SE Cottonwood Street  
Bentonville, AR 72712  
Telephone: (479) 273-2209

**Surveyor**  
Clayton Crotts, PLS  
2407 SE Cottonwood Street  
Bentonville, AR 72712  
Telephone: (479) 273-2209

#### SITE UTILITY CONTACTS

<b>NATURAL GAS</b> BLACK HILLS SWIRGY CONTACT: JOSH KNIGHT 1301 FEDERAL WAY PO BOX 1129 LOWELL, AR 72745 PHONE: 479 333 7005	<b>CABLE TELEVISION</b> COX COMMUNICATIONS CONTACT: JAMES SCHOONOVER 4901 S. 48TH STREET SPRINGDALE, ARKANSAS PHONE: 479 717 3793 EMAIL: james.schoonover@cox.com
<b>TELEPHONE</b> CENTURYLINK CONTACT: KARE EDWARDS 2601 WAUKESHA RD SLEDAM SPRINGS, AR 72761 TELEPHONE: (479) 524-9943	<b>FIRE DEPARTMENT</b> CITY OF GENTRY CONTACT: VINCENT CRIPPS 101 W. MAIN ST GENTRY, AR 72734 PHONE: 479 736-9976
<b>WATER &amp; SEWER</b> CITY OF GENTRY CONTACT: LAYMON DONOHUE 101 W. MAIN ST GENTRY, AR 72734 PHONE: 479-957-2700	<b>DEPARTMENT OF HEALTH</b> ARKANSAS DEPARTMENT OF HEALTH DIVISION OF ENGINEERING, SLOT 37 4815 W. MARKHAM LITTLE ROCK, AR 72205 PHONE: 501-661-2623
<b>ELECTRIC</b> EMPRES DISTRICT ELECTRIC CONTACT: STEVE FULLMER CELL: 417-437-8653 OFFICE: 800-639-0077	

#### GOVERNING AGENCIES

<b>PUBLIC WORKS</b> CONTACT: LAYMON DONOHUE PHONE: 479-957-2700	<b>CITY OF GENTRY</b> 101 W. MAIN ST GENTRY, AR 72734
<b>BUILDING INSPECTION</b> LARRY SOUTHWORTH PHONE: 479-232-0632	

RUSS' RIDGE

1. Contractor Shall Provide Access To All Driveways, Streets And Mailboxes During Construction
2. Handicapped Accessible Ramps, Location, Orientation, and Truncated Domains Shall Be Discussed On Site And Approved By The City Of Quincy Before Being Constructed.
3. Stop Signs And Associated Street Signs Will Be Purchased By The Developer Through The City Of Quincy And Installed By The City Of Quincy.
4. Where Applicable, Utility Easements Take Precedence Over Building Setbacks.
5. Any Proposed Signage Will Require A Separate Permit.
6. Owner/Developer Shall Coordinate With All Local Utilities To Insure That Each Lot Has Water, Sewer and Electric Service.
7. There May Be No Fences Or Any Other Structures Built In Any Driveway Enclosures.
8. City Of Quincy Water Department Shall Perform All Taps On Existing Water And Sewer Mains At Owner's Expense.
9. Majority Of Tree Coverage Is On The East Side Of The Site Near The Entering House. Trees Will Only Be Removed When Required For The Road Construction. The Remaining Landscape Shall Be Preserved.

1. No Land Clearing Shall Begin Until All Erosion Control Measures And True Protection Practices Have Been Installed. The Contractor Shall Take All Precautions To Prevent Soil Runoff From Leaving The Site. All Erosion Control And True Protection Practices Shall Be Installed Until All Contributing Areas Are Graded And Stabilized.
2. All Disturbed Areas And Slopes Shall Be Graded Smooth, Receive A" Topsoil And Seed Grass.
3. All Storm Sewer Distances Are From Center-to-Inlet To Center-of-Inlet Or From Center-of-Inlet To End Of Paved-End-Section.
4. All Existing Utility Vaults, Valves, Manholes, And Boxes To Be Adjusted To Finished Grades In Accordance With City Of Denver Regulations And To The Corresponding Utility Company's Requirements.
5. No Finished Grade Slopes Shall Exceed 3:1.
6. All Proposed Subdrains And Accessible Ramps Shall Have A Minimum Cross

3. The Contractor Shall be Solely And Completely Responsible for Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. The Responsibility Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
4. It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damages To Adjacent Properties During The Construction Of This Project.
5. Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
6. Unless Otherwise Noted, All Curb Shall Be "Daydown" Curb And Gutter. Refer To Detailed Specs.
7. Proposed Street Shall Be a Minimum Of 14' Wide Unless Otherwise Noted.
8. All Construction Shall Conform To The City Of Gwynedd Development Regulations.
9. All Signs, Permitted Markings, And Striping Shall Conform To The Manual Of Uniform Traffic Control Devices (MUTCD) Standards And Regulations.
10. Contractor Must Obtain A Permit Prior To Performing A Street Cut Within City Of Gwynedd Right-Of-Way. All Construction Is Strict Right-Of-Way Construction Within City Of Gwynedd Right-Of-Way.

1. No Land Clearing Shall Begin Until All Erosion Control Measures and Tree Protection Fencing Have Been Installed. The Contractor Shall Take All Precautions To Prevent Soil Sediment From Leaving The Site. Erosion Control Measures And Tree Protection Fencing Shall Be Maintained Until All Contributing Areas Are Graded And Stabilized.
2. All Disturbed Areas And Slopes Shall Be Graded Smooth, Re-vegetated & Topsoil And Seeded.
3. All Storm Sewer Distances Are From Center-of-Inlet To Center-of-Inlet Or From Center-of-Inlet To End Of Flap-End Structure.
4. All Existing Utility Vaults, Valves, Manholes, And Boxes To Be Adjusted To Finished Grades In Accordance With City Of Geary Regulations And To The Corresponding Utility Company's Requirements.
5. No Finished Grades Slopes Shall Exceed 3:1.
6. All Proposed Sidewalks And Accessible Ramps Shall Have A Maximum Cross Slope Of 2%.

4. Existing Utilities Cross or Along the Line Of The Proposed Work Area  
Shall Only In An Appropriate Location On These Plans. The Contractor Shall Obtain One Call Service Prior To Construction Of 1-800-485-4898. The Contractor Shall, On His Own Initiative And At Its Additional Cost, Locate All Underground Lines And Structures Affecting The Contractor's Work. The Contractor Shall Properly Connect And All Utility Crossings And Inform Morrison-Shiely Construction, Inc. And/Or The Owner Of Any Conflicts Or Required Deviations From The Plans. Morrison-Shiely Engineers, Inc. Shall Be Held Harmless In The Event That The Contractor Fails To Make Such Connections.
5. All Electric, Telephone, And Gas Extensions Including Service Lines Shall Be Constructed To The Appropriate Utility Company Specifications And Requirements. All Utility Company Connections Shall Be Coordinated With The Appropriate Utility Company. The Contractor Shall Properly Coordinate Any Disruptions To Existing Utility Service With Adequate Notice.
6. The Contractor Shall Be Strictly Understood That Failure To Specifically Indicate Work Which Is Required To Complete This Project Shall Not Relieve The Contractor Of His Responsibility To Perform Such Work.
7. All Fire Hydrant Assemblies To Be Placed At Minimum 5' And Maximum 8' From Back Of Curbside Pavement, Minimum 10' From Driveways.
8. All Sewer Service And Water Systems Shall Be Installed In Accordance With The City Of Denver Public Works Department. There Shall Be A Minimum Cover Of 4' At All Minor Street Crossings Shall Be Installed With Locking Retainer Boxes.
9. All Power Lines Shall Be Installed At Minimum 10' From All Public Utilities.
10. All Treeing And Bidding Shall Be In Accordance With The City Of Denver Water And Sewer Specifications.
11. Water Service Meters Shall Have A Sixth Inch Tapping And A 1/2 Inch Pipe To The Meter.
12. A Sewer Main Shall Be Installed At A Minimum 10' From All Public Utilities.

**Zoning:** Property is zoned S4



**HALFF**

<b>Revisions</b>    	
Drawn By: <b>WDS/WNC</b> Appproved By: <b>JEL</b> Date: <b>11.07.23</b> Project No.: <b>51790-002</b>	'vert. Scale: <b>N/A</b> Horiz. Scale: <b>N/A</b> Plot Scale: <b>1</b> DWG Name: <b>0000 NOTED</b>



BUILDING SUMMARY				
Lot #	Lot Type	Abbreviation	Lot Color	Town
Lot 3-3	Comm. Typo	N/A		3
Lot 3B-103	Single Family	SF		85
Lot 104 115	Multi Family	Mf		12
Lot 4-17	Town Homes	TH		34
Lot 116-154	Tiny Homes	H/A		18
Total				153



**Gentry, AR**

Issued for Review  
11.07.22

## OVERALL SITE PLAN

<b>Revisions</b>	
Drawn By: <b>KSL/JMC</b>	1" = 8'
Approved By: <b>KU</b>	North Arrow: <b>1°=80°</b>
Date: <b>11.07.23</b>	Plot Scale: <b>1</b>
Project No.: <b>11754-001</b>	DWG Name: <b>CIVERRA1</b>



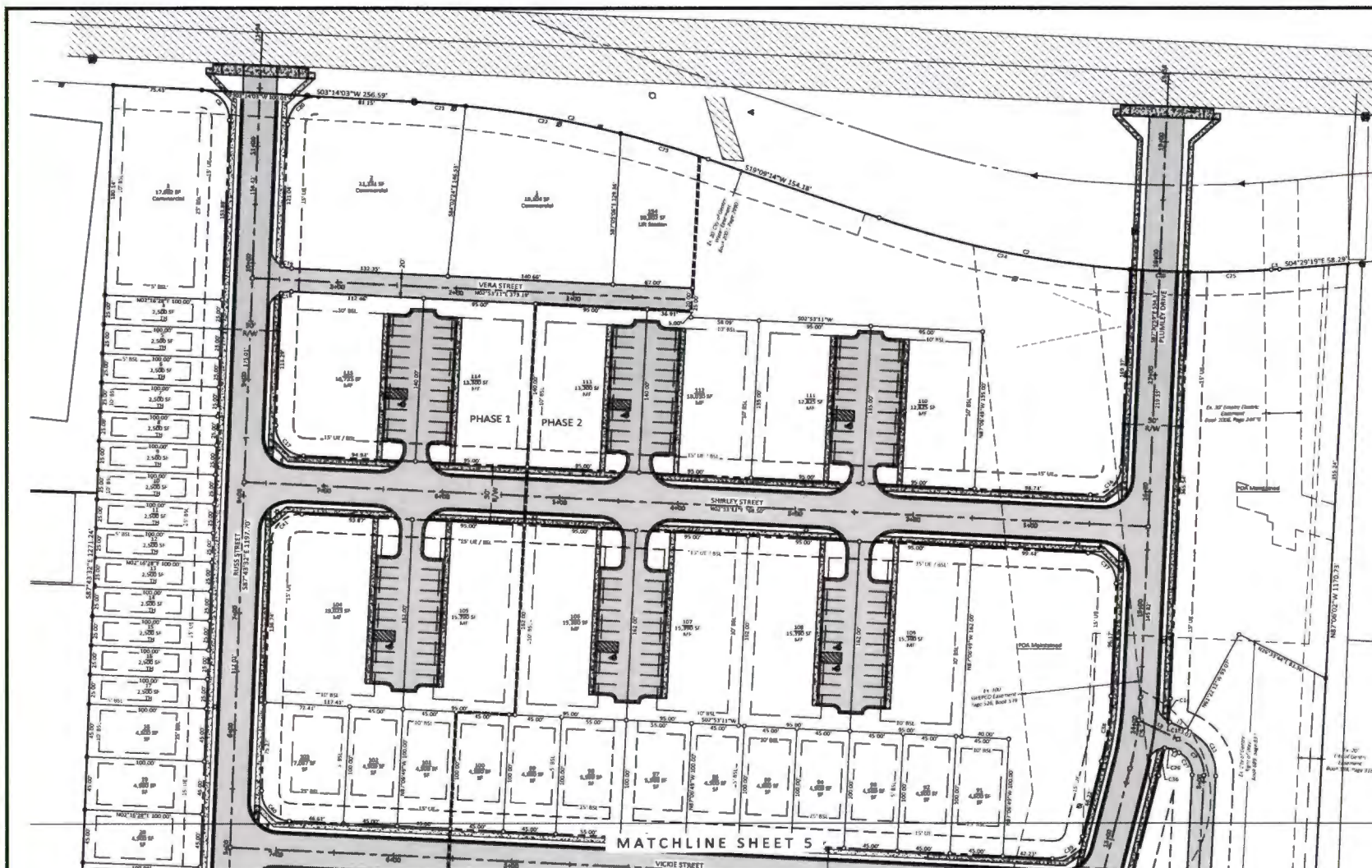


**Gentry, AR**

**Issued for Review**  
**11.07.22**

### PRELIMINARY PLAT

Revisions	
Drawn By:	KEL/JMC
Approved By:	JRJ
Date:	11.07.22
Product ID#	S1704-001
Vert. Scale	M/A
Horiz. Scale	
Plot Scale	1
DWG Name	

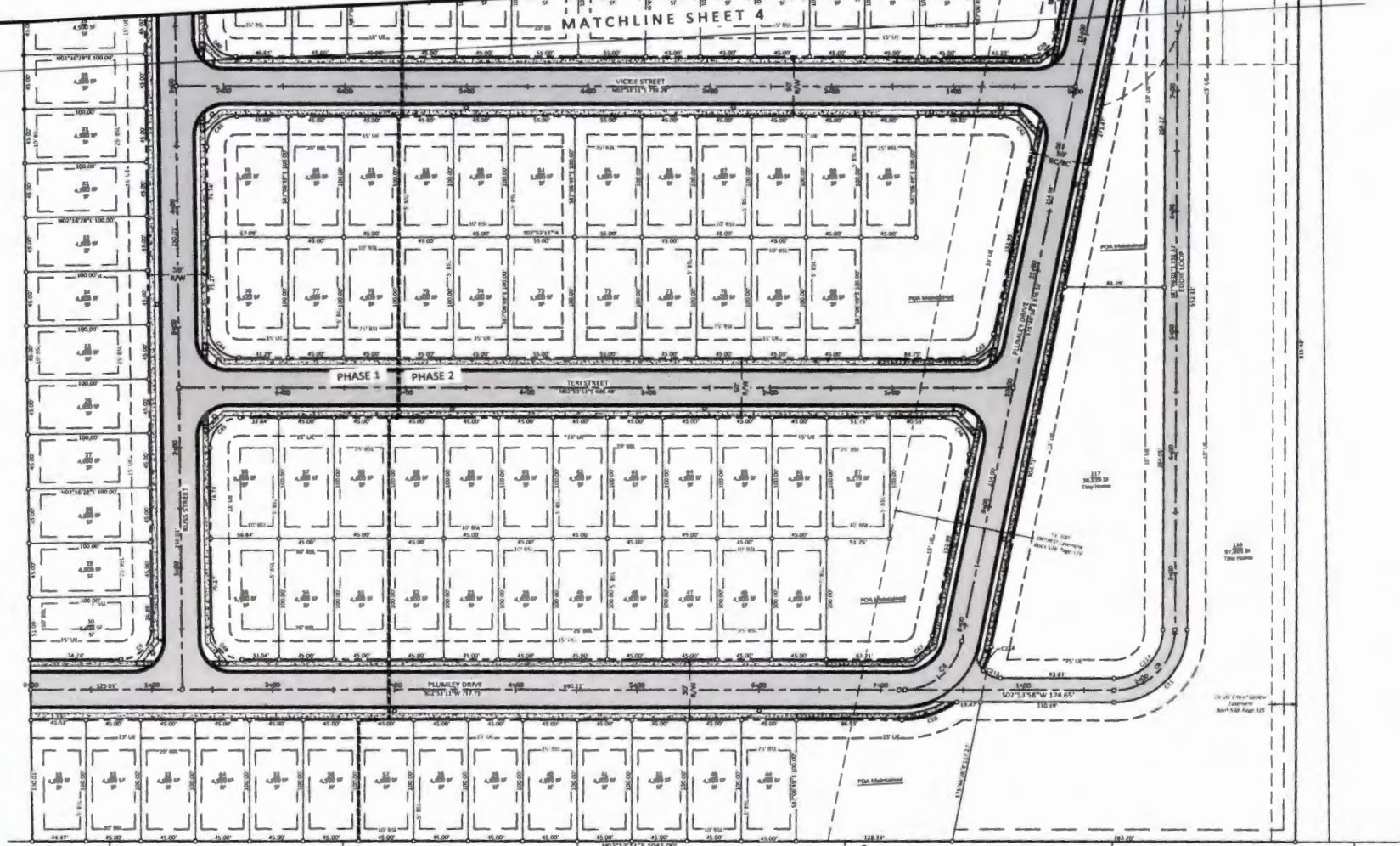


Curve Table					Curve Table					
Curve #	Length	Radius	Chord Bearing	Chord Length	Curve #	Length	Radius	Chord Bearing	Chord Length	
C1	284.22	814.37	127.51°	514.11 121° 17'	233.30	C35	76.43	814.37	32.48° 12' 30"	76.39
C2	284.22	814.37	127.51°	514.11 121° 17'	233.30	C36	76.43	814.37	32.48° 12' 30"	76.39
C3	284.22	814.37	127.51°	514.11 121° 17'	233.30	C37	76.43	814.37	32.48° 12' 30"	76.39
C4	284.22	814.37	127.51°	514.11 121° 17'	233.30	C38	76.43	814.37	32.48° 12' 30"	76.39
C5	284.22	814.37	127.51°	514.11 121° 17'	233.30	C39	76.43	814.37	32.48° 12' 30"	76.39
C6	284.22	814.37	127.51°	514.11 121° 17'	233.30	C40	76.43	814.37	32.48° 12' 30"	76.39
C7	284.22	814.37	127.51°	514.11 121° 17'	233.30	C41	76.43	814.37	32.48° 12' 30"	76.39
C8	284.22	814.37	127.51°	514.11 121° 17'	233.30	C42	76.43	814.37	32.48° 12' 30"	76.39
C9	284.22	814.37	127.51°	514.11 121° 17'	233.30	C43	76.43	814.37	32.48° 12' 30"	76.39
C10	284.22	814.37	127.51°	514.11 121° 17'	233.30	C44	76.43	814.37	32.48° 12' 30"	76.39
C11	284.22	814.37	127.51°	514.11 121° 17'	233.30	C45	76.43	814.37	32.48° 12' 30"	76.39
C12	284.22	814.37	127.51°	514.11 121° 17'	233.30	C46	76.43	814.37	32.48° 12' 30"	76.39
C13	284.22	814.37	127.51°	514.11 121° 17'	233.30	C47	76.43	814.37	32.48° 12' 30"	76.39
C14	284.22	814.37	127.51°	514.11 121° 17'	233.30	C48	76.43	814.37	32.48° 12' 30"	76.39
C15	284.22	814.37	127.51°	514.11 121° 17'	233.30	C49	76.43	814.37	32.48° 12' 30"	76.39
C16	284.22	814.37	127.51°	514.11 121° 17'	233.30	C50	76.43	814.37	32.48° 12' 30"	76.39
C17	284.22	814.37	127.51°	514.11 121° 17'	233.30	C51	76.43	814.37	32.48° 12' 30"	76.39
C18	284.22	814.37	127.51°	514.11 121° 17'	233.30	C52	76.43	814.37	32.48° 12' 30"	76.39
C19	284.22	814.37	127.51°	514.11 121° 17'	233.30	C53	76.43	814.37	32.48° 12' 30"	76.39
C20	284.22	814.37	127.51°	514.11 121° 17'	233.30	C54	76.43	814.37	32.48° 12' 30"	76.39
C21	284.22	814.37	127.51°	514.11 121° 17'	233.30	C55	76.43	814.37	32.48° 12' 30"	76.39
C22	284.22	814.37	127.51°	514.11 121° 17'	233.30	C56	76.43	814.37	32.48° 12' 30"	76.39
C23	284.22	814.37	127.51°	514.11 121° 17'	233.30	C57	76.43	814.37	32.48° 12' 30"	76.39
C24	284.22	814.37	127.51°	514.11 121° 17'	233.30	C58	76.43	814.37	32.48° 12' 30"	76.39
C25	284.22	814.37	127.51°	514.11 121° 17'	233.30	C59	76.43	814.37	32.48° 12' 30"	76.39
C26	284.22	814.37	127.51°	514.11 121° 17'	233.30	C60	76.43	814.37	32.48° 12' 30"	76.39
C27	284.22	814.37	127.51°	514.11 121° 17'	233.30	C61	76.43	814.37	32.48° 12' 30"	76.39
C28	284.22	814.37	127.51°	514.11 121° 17'	233.30	C62	76.43	814.37	32.48° 12' 30"	76.39
C29	284.22	814.37	127.51°	514.11 121° 17'	233.30	C63	76.43	814.37	32.48° 12' 30"	76.39
C30	284.22	814.37	127.51°	514.11 121° 17'	233.30	C64	76.43	814.37	32.48° 12' 30"	76.39
C31	284.22	814.37	127.51°	514.11 121° 17'	233.30	C65	76.43	814.37	32.48° 12' 30"	76.39
C32	284.22	814.37	127.51°	514.11 121° 17'	233.30	C66	76.43	814.37	32.48° 12' 30"	76.39
C33	284.22	814.37	127.51°	514.11 121° 17'	233.30	C67	76.43	814.37	32.48° 12' 30"	76.39
C34	284.22	814.37	127.51°	514.11 121° 17'	233.30	C68	76.43	814.37	32.48° 12' 30"	76.39
C35	284.22	814.37	127.51°	514.11 121° 17'	233.30	C69	76.43	814.37	32.48° 12' 30"	76.39
C36	284.22	814.37	127.51°	514.11 121° 17'	233.30	C70	76.43	814.37	32.48° 12' 30"	76.39
C37	284.22	814.37	127.51°	514.11 121° 17'	233.30	C71	76.43	814.37	32.48° 12' 30"	76.39
C38	284.22	814.37	127.51°	514.11 121° 17'	233.30	C72	76.43	814.37	32.48° 12' 30"	76.39
C39	284.22	814.37	127.51°	514.11 121° 17'	233.30	C73	76.43	814.37	32.48° 12' 30"	76.39
C40	284.22	814.37	127.51°	514.11 121° 17'	233.30	C74	76.43	814.37	32.48° 12' 30"	76.39
C41	284.22	814.37	127.51°	514.11 121° 17'	233.30	C75	76.43	814.37	32.48° 12' 30"	76.39
C42	284.22	814.37	127.51°	514.11 121° 17'	233.30	C76	76.43	814.37	32.48° 12' 30"	76.39
C43	284.22	814.37	127.51°	514.11 121° 17'	233.30	C77	76.43	814.37	32.48° 12' 30"	76.39
C44	284.22	814.37	127.51°	514.11 121° 17'	233.30	C78	76.43	814.37	32.48° 12' 30"	76.39
C45	284.22	814.37	127.51°	514.11 121° 17'	233.30	C79	76.43	814.37	32.48° 12' 30"	76.39
C46	284.22	814.37	127.51°	514.11 121° 17'	233.30	C80	76.43	814.37	32.48° 12' 30"	76.39
C47	284.22	814.37	127.51°	514.11 121° 17'	233.30	C81	76.43	814.37	32.48° 12' 30"	76.39
C48	284.22	814.37	127.51°	514.11 121° 17'	233.30	C82	76.43	814.37	32.48° 12' 30"	76.39
C49	284.22	814.37	127.51°	514.11 121° 17'	233.30	C83	76.43	814.37	32.48° 12' 30"	76.39
C50	284.22	814.37	127.51°	514.11 121° 17'	233.30	C84	76.43	814.37	32.48° 12' 30"	76.39
C51	284.22	814.37	127.51°	514.11 121° 17'	233.30	C85	76.43	814.37	32.48° 12' 30"	76.39
C52	284.22	814.37	127.51°	514.11 121° 17'	233.30	C86	76.43	814.37	32.48° 12' 30"	76.39
C53	284.22	814.37	127.51°	514.11 121° 17'	233.30	C87	76.43	814.37	32.48° 12' 30"	76.39
C54	284.22	814.37	127.51°	514.11 121° 17'	233.30	C88	76.43	814.37	32.48° 12' 30"	76.39
C55	284.22	814.37	127.51°	514.11 121° 17'	233.30	C89	76.43	814.37	32.48° 12' 30"	76.39
C56	284.22	814.37	127.51°	514.11 121° 17'	233.30	C90	76.43	814.37	32.48° 12' 30"	76.39
C57	284.22	814.37	127.51°	514.11 121° 17'	233.30	C91	76.43	814.37	32.48° 12' 30"	76.39
C58	284.22	814.37	127.51°	514.11 121° 17'	233.30	C92	76.43	814.37	32.48° 12' 30"	76.39
C59	284.22	814.37	127.51°	514.11 121° 17'	233.30	C93	76.43	814.37	32.48° 12' 30"	76.39
C60	284.22	814.37	127.51°	514.11 121° 17'	233.30	C94	76.43	814.37	32.48° 12' 30"	76.39
C61	284.22	814.37	127.51°	514.11 121° 17'	233.30	C95	76.43	814.37	32.48° 12' 30"	76.39
C62	284.22	814.37	127.51°	514.11 121° 17'	233.30	C96	76.43	814.37	32.48° 12' 30"	76.39
C63	284.22	814.37	127.51°	514.11 121° 17'	233.30	C97	76.43	814.37	32.48° 12' 30"	76.39
C64	284.22	814.37	127.51°	514.11 121° 17'	233.30	C98	76.43	814.37	32.48° 12' 30"	76.39
C65	284.22	814.37	127.51°	514.11 121° 17'	233.30	C99	76.43	814.37	32.48° 12' 30"	76.39
C66	284.22	814.37	127.51°	514.11 121° 17'	233.30	C100	76.43	814.37	32.48° 12' 30"	76.39

Curve P	Radius	Length	Tangent	Chord Bearing	Chord Length
C5	100.00'	61.47'	30.84'	S 81°30'47" E	61.38'
C7	30.00'	34.73'	15.61'	N 50°08'51" E	32.83'

Line Table		
Line #	Bearing	Length
L1	S 26°09'11" E	15.49'
L2	S 26°09'11" E	5.42'

MATCHLINE SHEET 4



Curve #	Length	Radius	Turner's	Chord Bearing	Chord Length
176	86.54'	21.00'	25.27°	S 47° 20' 21" W	106.46'
177	48.21'	21.00'	25.27°	S 47° 20' 21" W	47.97'
178	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
179	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
180	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
181	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
182	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
183	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
184	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
185	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
186	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
187	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
188	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
189	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
190	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
191	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
192	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
193	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
194	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
195	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
196	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
197	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
198	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
199	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'
200	14.22'	21.00'	25.27°	S 47° 20' 21" W	14.22'

Curve #	Radius	Length	Turner's	Chord Bearing	Chord Length
176	21.00'	86.54'	25.27°	S 47° 20' 21" W	106.46'
177	21.00'	48.21'	25.27°	S 47° 20' 21" W	47.97'
178	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
179	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
180	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
181	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
182	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
183	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
184	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
185	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
186	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
187	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
188	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
189	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
190	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
191	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
192	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
193	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
194	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
195	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
196	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
197	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
198	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
199	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'
200	21.00'	14.22'	25.27°	S 47° 20' 21" W	14.22'

**HALFF**

HALFF ASSOCIATES, INC.  
2407 BE COTTONWOOD ST. STE 1  
BENTONVILLE, AR 72713  
479.273.2200 • HALFF.COM

Russ' Ridge

Gentry, AR

Issued for Review  
11.07.22

**PRELIMINARY PLAT**

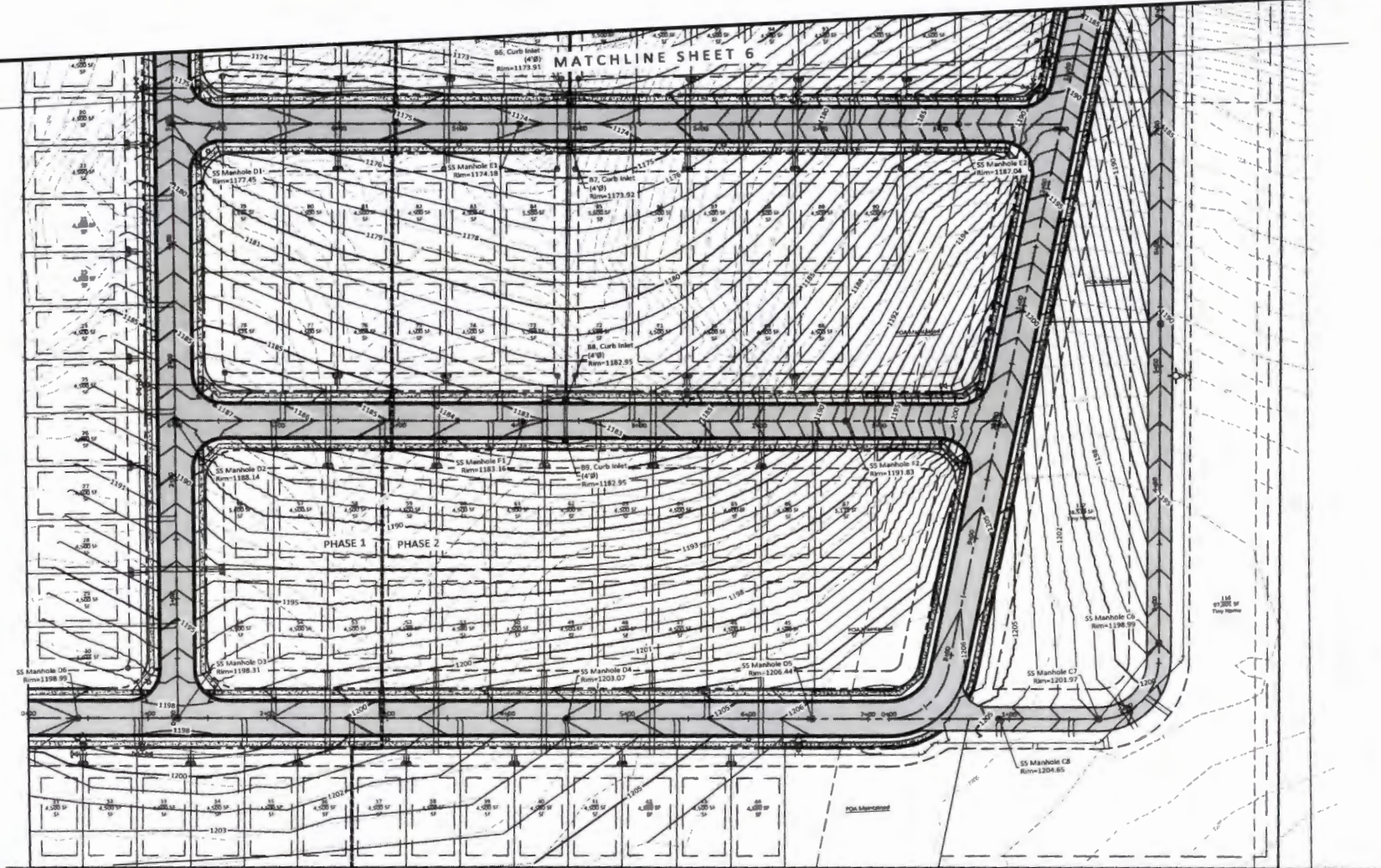
Drawn By:	888/JMC	Scale:	AS IS
Approved By:	888/JMC	Project No.:	11-07-22
Client:	11-07-22	Plot Size:	1
Project No.:	11-07-22	City:	Halff







# MATCHLINE SHEET 6



HALFF ASSOCIATES, INC.  
2407 BE COTTWOOD ST. STE 1  
BENTONVILLE, AR 72712  
479.273.2208 • HALFF.COM

Russ' Ridge

Gentry, AR

Issued for Review  
11.07.22

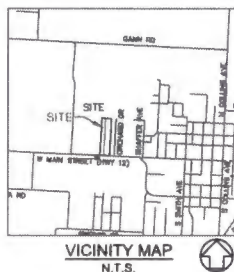
GRADING PLAN

Drawn By:	BRB/MC	Scale:	ASB
Reviewed By:	BT	Horizontal Scale:	1"=40'
Date:	11.07.22	Vertical Scale:	1"=4'
Project No.:	11754-001	Sheet No.:	001

SHEET 7 of 7



**GENTRY SUBDIVISION  
SUBDIVISION PLANS  
1392 W. MAIN ST. (HWY 12)  
GENTRY, AR 72734**



**SHEET INDEX**

C0.0	COVER SHEET
C0.1	GENERAL NOTE
SV1	SITE SURVEY
PP1	PRELIMINARY PLAN
C1.0	DEMOLITION PLAN
C1.1	OVERALL GRADING PLAN
C1.2	ROAD A PLAN & PROFILE
C1.3	INTERSECTION DETAILS
C2.0	STORMWATER PLAN
C2.1	STORM LINE A & B PLAN & PROFILE
C3.0	SEWER PLAN
C3.1	SEWER LINE A PLAN & PROFILE
C3.2	SEWER LINE A PLAN & PROFILE
C4.0	WATER MAIN PLAN
C5.0	STREET DETAILS
C5.1	STORM DETAILS
C5.2	EROSION CONTROL DETAILS

### CONTACT INFORMATION

COX CABLE	470-273-5044
AT&T	888-844-0444
BLACK HILLS ENERGY, FAYETTEVILLE	800-680-5555
SWEPKO ELECTRIC	888-210-3522
CARROLL ELECTRIC	800-432-8720
GENTRY PUBLIC WORKS DEPARTMENT	470-738-2733
GENTRY FIRE DEPARTMENT	470-738-8978
GENTRY'S CITY OFFICE	470-738-2555

## AS-SURVEY DESCRIPTION

TRACT 1  
PART OF THE SW1/4, 1/4, 1/4, SECTION 4, TOWNSHIP 18 NORTH, RANGE 33 WEST, FIFTH PRINCIPAL  
MERIDIAN, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A FOUND 5/8-INCH IRON NAIL AT THE NORTHEAST CORNER OF SAID SW1/4, 1/4, 1/4;  
THENCE 862°57'42"W 1305.33 FEET TO THE CENTERLINE OF W MAIN ST (HWY 12); THENCE ALONG  
SAID CENTERLINE, N 108°13'W 197.60 FEET; THENCE N85°01'13"E 1308.41 FEET TO A FOUND  
5/8-INCH SPICED, THICK 2" BENTONITE 118.53 FEET TO THE POINT OF BEGINNING, CONTAINING  
267.860 SQUARE FEET OR 6.02 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS,  
COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

TRACT 2:  
PART OF THE 6W14, NE14, SECTION 4, TOWNSHIP 18 NORTH, RANGE 33 WEST, FIFTH PRINCIPAL  
MERIDIAN, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT A FOUND 56X18X18 REBAR AT THE NORTHEAST CORNER OF SAID 6W14, NE14,  
SECTION 4, TOWNSHIP 18 NORTH, RANGE 33 WEST, FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY,  
ARKANSAS, THENCE S89°00'00"E 138.61 FEET TO THE CENTERLINE OF W MAIN ST. (HWY 12); THENCE  
ALONG SAID CENTERLINE, N87°15'00"W 131.41 FEET; THENCE N85°01'00"E 1316.13 FEET TO A FOUND  
12X18X18 REBAR; THENCE S87°00'00"E 131.98 FEET TO THE POINT OF BEGINNING, CONTAINING  
TWO (2) ACRES, MORE OR LESS, BEING THE SAME AS SHOWN ON THE PLAT OF RECORD, BEING  
CONVEYED BY INSTRUMENTS OF RECORD OR FACT.

## FLOOD CERTIFICATION

BY GRAPHIC PLOTTING ONLY, THE SUBJECT TRACT IS IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 80907C0215J, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 26, 2007. THE SUBJECT TRACT IS NOT IN A FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

**PROJECT INFO:**

10-00085-000, 10-00094-000,  
18-13354-000, & 18-13356-000

PARCEL NUMBERS:

**PROPOSED USE:**

TOTAL SITE AREA: 10.00 ACRES

**ZONING:**

**ZONING:** R-2, MEDIUM DENSITY RESIDENTIAL

OWNER

1330 W MAIN ST.  
GENTRY, AR 72734

DEVELOPER: SYM22 HOMES LLC

1330 W MAIN ST.  
GENTRY, AR 72734

ENGINEER: ODYSSEY ENGINEERING, LLC  
117 PARKWOOD ST, STE. 101  
LOWELL, AR 72745  
PHONE: 479-480-3330

SURVEYOR: ANDERSON ENGINEERING, INC.  
5311 W. VILLAGE PARKWAY  
ROGERS, AR 72758

ZONING INFORMATION (R-2)

**SINGLE FAMILY.**

FRONT 25 FT

SIDE 7 FT (INTERIOR)

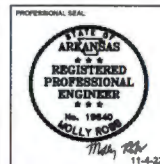
**SIDE** 25 FT (EXTERIOR BACK TO SIDE)  
**END** 15 FEET (SEE PLAN FOR END)

SIDE 15 (C)

REAR	7 FT
WIDTH	80.5"

WIDTH 60 FT  
AREA 7,800

AREA 7,500 SF



## REVISIONS

[illegible]

**ODYSSEY  
ENGINEERING**

117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AR COA # 4188

**GENTRY SUBDIVISION  
PRELIMINARY PLAT  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734**

PROJECT NO.	DESIGNED BY	REVIEWED BY
00Y0004	MR	MR
PLAN DATE	11.4.2022	

SHEET NAME:  
**COVER SHEET**

SHEET NO.

C0.0





### GRADING NOTES

[illegible]

117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AR COA # 4188

PROJECT NO.	RECORDED BY		REVISIONS
	LR	LR	
PROJECT NAME	PLAN DATE	11.4.2022	

GENERAL NOTES

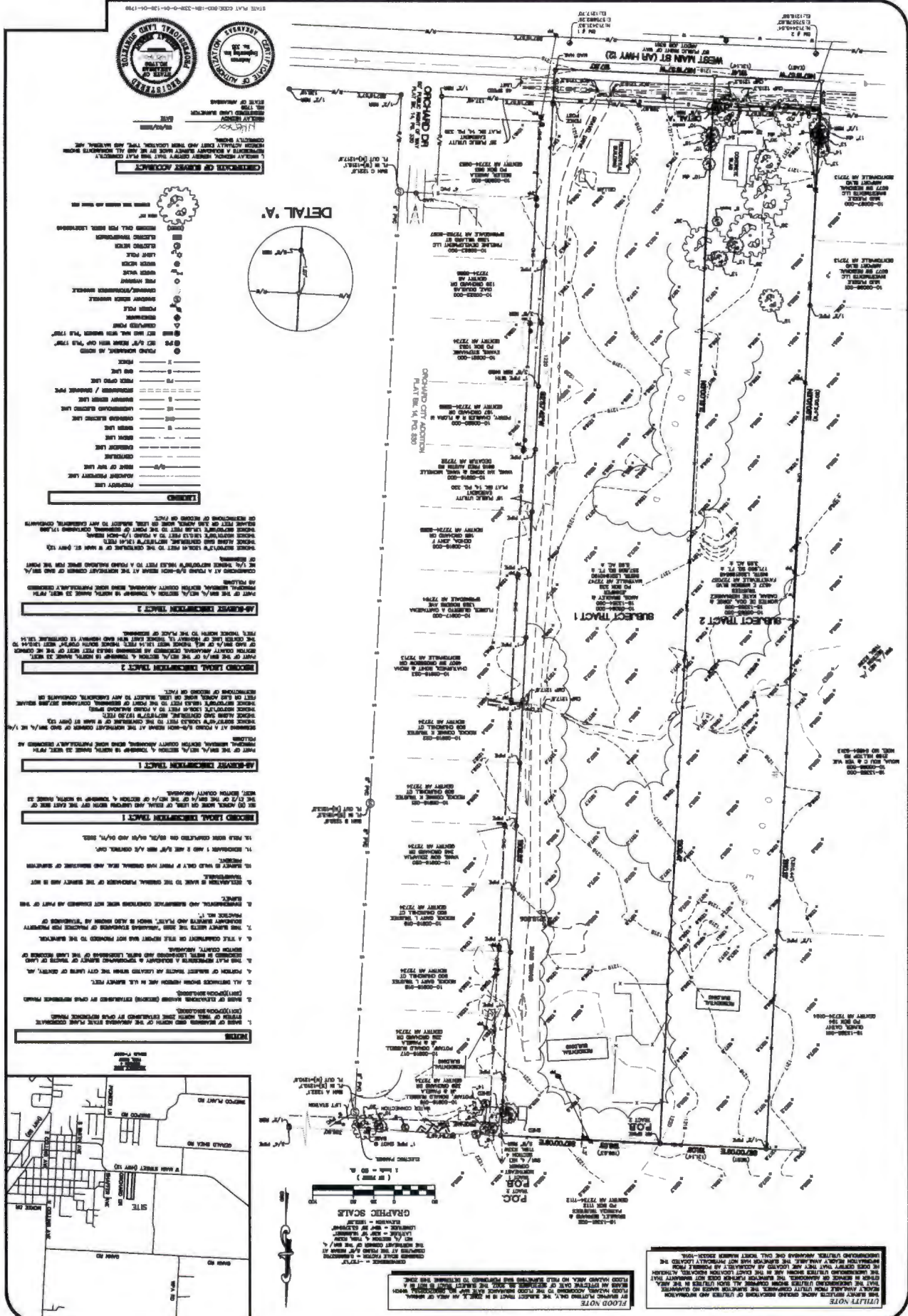
BHEET NO. CO.1



ENGINEERS - SURVEYORS - LAND SURVEYORS - DRAUGHTSMEN  
**ANDERSON ENGINEERING**  
 EMPLOYER OWNED

NO.	DESCRIPTION	BY	DATE	FIELD BY	DATE	CHECK BY	DATE	FIELD BOOK	JOB NUMBER
									22010018
								04/21/2022	

SWAZZ HOMES LLC  
 BOUNDARY & TOPOGRAPHIC SURVEY  
 SW/4 NE/4 SECTION 4  
 T1N36W  
 CITY OF CENTRY  
 BENTON COUNTY, ARKANSAS



**DETAIL A**

**LEGEND**

- 1. BOUNDARY LINE
- 2. EASEMENT LINE
- 3. RIGHT-OF-WAY LINE
- 4. FLOOD PLAIN LINE
- 5. UTILITY LINE
- 6. ADJACENT PROPERTY
- 7. SURVEY POINT
- 8. BENCHMARK
- 9. OBSTACLE
- 10. FENCE
- 11. ROAD
- 12. RAILROAD
- 13. WATER
- 14. TREES
- 15. ROCKS
- 16. BUILDINGS
- 17. POWER LINES
- 18. TELEPHONE LINES
- 19. FENCE POSTS
- 20. CORNER MARKERS
- 21. SURVEY INSTRUMENT
- 22. SURVEYOR
- 23. DATE
- 24. SCALE
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- 719. FENCE POSTS
- 720. CORNER MARKERS
- 721. SURVEY INSTRUMENT
- 722. SURVEYOR
- 723. DATE
- 724. SCALE
- 725. NORTH ARROW
- 726. ADJACENT PROPERTY
- 727. SURVEY POINT
- 728. BENCHMARK
- 729. OBSTACLE
- 730. FENCE
- 731. ROAD
- 732. RAILROAD
- 733. WATER
- 734. TREES
- 735. ROCKS
- 736. BUILDINGS
- 737. POWER LINES
- 738. TELEPHONE LINES
- 739. FENCE POSTS
- 740. CORNER MARKERS
- 741. SURVEY INSTRUMENT
- 742. SURVEYOR
- 743. DATE
- 744. SCALE
- 745. NORTH ARROW
- 746. ADJACENT PROPERTY
- 747. SURVEY POINT
- 748. BENCHMARK
- 749. OBSTACLE
- 750. FENCE
- 751. ROAD
- 752. RAILROAD
- 753. WATER
- 754. TREES
- 755. ROCKS
- 756. BUILDINGS
- 757. POWER LINES
- 758. TELEPHONE LINES
- 759. FENCE POSTS
- 760. CORNER MARKERS
- 761. SURVEY INSTRUMENT
- 762. SURVEYOR
- 763. DATE
- 764. SCALE
- 765. NORTH ARROW
- 766. ADJACENT PROPERTY
- 767. SURVEY POINT
- 768. BENCHMARK
- 769. OBSTACLE
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- 771. ROAD
- 772. RAILROAD
- 773. WATER
- 774. TREES
- 775. ROCKS
- 776. BUILDINGS
- 777. POWER LINES
- 778. TELEPHONE LINES
- 779. FENCE POSTS
- 780. CORNER MARKERS
- 781. SURVEY INSTRUMENT
- 782. SURVEYOR
- 783. DATE
- 784. SCALE
- 785. NORTH ARROW
- 786. ADJACENT PROPERTY
- 787. SURVEY POINT
- 788. BENCHMARK
- 789. OBSTACLE
- 790. FENCE
- 791. ROAD
- 792. RAILROAD
- 793. WATER
- 794. TREES
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- 796. BUILDINGS
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- 798. TELEPHONE LINES
- 799. FENCE POSTS
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- 803. DATE
- 804. SCALE
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- 808. BENCHMARK
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- 810. FENCE
- 811. ROAD
- 812. RAILROAD
- 813. WATER
- 814. TREES
- 815. ROCKS
- 816. BUILDINGS
- 817. POWER LINES
- 818. TELEPHONE LINES
- 819. FENCE POSTS
- 820. CORNER MARKERS
- 821. SURVEY INSTRUMENT
- 822. SURVEYOR
- 823. DATE
- 824. SCALE
- 825. NORTH ARROW
- 826. ADJACENT PROPERTY
- 827. SURVEY POINT
- 828. BENCHMARK
- 829. OBSTACLE
- 830. FENCE
- 831. ROAD
- 832. RAILROAD
- 833. WATER
- 834. TREES
- 835. ROCKS
- 836. BUILDINGS
- 837. POWER LINES
- 838. TELEPHONE LINES
- 839. FENCE POSTS
- 840. CORNER MARKERS
- 841. SURVEY INSTRUMENT
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- 843. DATE
- 844. SCALE
- 845. NORTH ARROW
- 846. ADJACENT PROPERTY
- 847. SURVEY POINT
- 848. BENCHMARK
- 849. OBSTACLE
- 850. FENCE
- 851. ROAD
- 852. RAILROAD
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- 856. BUILDINGS
- 857. POWER LINES
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- 883. DATE
- 884. SCALE
- 885. NORTH ARROW
- 886. ADJACENT PROPERTY
- 887. SURVEY POINT
- 888. BENCHMARK
- 889. OBSTACLE
- 890. FENCE
- 891. ROAD
- 892. RAILROAD
- 893. WATER
- 894. TREES
- 895. ROCKS
- 896. BUILDINGS
- 897. POWER LINES
- 898. TELEPHONE LINES
- 899. FENCE POSTS
- 900. CORNER MARKERS
- 901. SURVEY INSTRUMENT
- 902. SURVEYOR
- 903. DATE
- 904. SCALE
- 905. NORTH ARROW
- 906.

# BUILDING SETBACKS (PER R-2 ZONING)

SINGLE FAMILY:  
FRONT 30 FT  
SIDE 25 FT (INTERIOR)  
15 FT (EXTERIOR BACK TO SIDE)  
15 FT (CORNER BACK TO REAR)  
REAR 7 FT

**BASIS OF BEARING:**  
GRID NORTH OF THE ARKANSAS STATE PLANE  
COORDINATE BASIS OF BEARINGS: GRID NORTH OF  
THE ARKANSAS STATE PLANE COORDINATE SYSTEM  
OF 1983, NORTH ZONE ESTABLISHED BY OPUS  
REFERENCE FRAME: (2011)(EPOCH:2010.0000).

**BASIS OF ELEVATION:**  
NAVD88 (GEOID18) ESTABLISHED BY OPUS  
REFERENCE FRAME: (2011)(EPOCH:2010.0000).

## AS-SURVEY DESCRIPTION

**TRACT 1**  
PART OF THE SW1/4, NE1/4, SECTION 4, TOWNSHIP 18 NORTH, RANGE 33 WEST, FIFTH PRINCIPAL  
MERIDIAN, BENTON COUNTY ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A FOUND 1/2" IRON PIN AT THE NORTHEAST CORNER OF SAID SW1/4, NE1/4;  
THENCE S82°24'24"W 130.33 FEET TO THE CENTERLINE OF W MAIN ST (HWY 12); THENCE ALONG  
SAID CENTERLINE, N81°18'17"W 187.28 FEET, THENCE S80°15'15"W 130.41 FEET TO A FOUND  
RAILROAD SPIKE; THENCE S87°00'00"W 188.53 FEET TO THE POINT OF BEGINNING, CONTAINING  
257.88 SQUARE FEET OR 5.92 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS,  
COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

**TRACT 2**  
PART OF THE SW1/4, NE1/4, SECTION 4, TOWNSHIP 18 NORTH, RANGE 33 WEST, FIFTH PRINCIPAL  
MERIDIAN, BENTON COUNTY ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A FOUND 1/2" IRON PIN AT THE NORTHEAST CORNER OF SAID SW1/4, NE1/4;  
THENCE S82°24'24"W 130.33 FEET TO A FOUND RAILROAD SPIKE FOR THE POINT OF BEGINNING,  
THENCE S80°15'15"W 130.41 FEET TO THE CENTERLINE OF W MAIN ST (HWY 12); THENCE ALONG  
SAID CENTERLINE, N81°18'17"W 187.28 FEET, THENCE S87°00'00"W 131.13 FEET TO A FOUND  
RAILROAD SPIKE; THENCE S87°00'00"W 131.13 FEET TO THE POINT OF BEGINNING, CONTAINING  
171.88 SQUARE FEET OR 3.94 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS,  
COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

## FLOOD CERTIFICATION

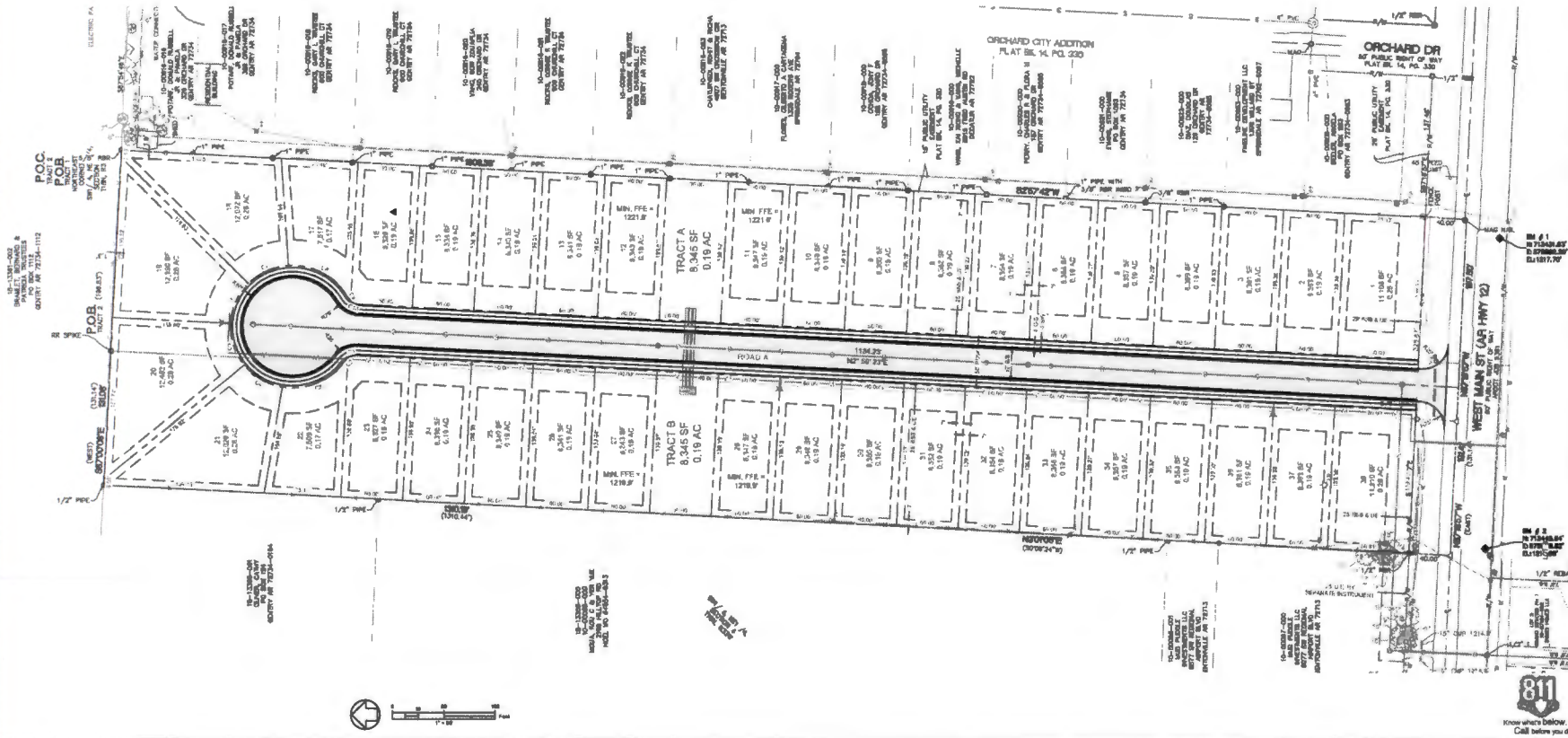
BY GROUND PLOTTING ONLY, THE SUBJECT TRACT IS IN ZONE X, AN AREA OF MINIMAL FLOOD  
HAZARD, ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 6607C0218, WHICH BEARS AN  
EFFECTIVE DATE OF SEPTEMBER 28, 2007. THE SUBJECT TRACT IS NOT IN A FLOOD HAZARD  
AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

## CURVE TABLE

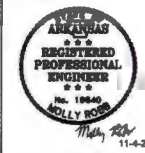
CURVE	RAZIR	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	11.00	9.76	8.88	N44°31'44"W	37.23	6.88
C2	11.00	9.77	3.34	N44°31'44"W	20.50	2.71
C3	89.00	42.56	43.88	N20°24'50"W	64.53	37.73
C4	89.00	42.57	42.43	N30°1'17"E	41.42	22.68
C5	89.00	44.91	43.69	N71°58'34"E	42.63	23.08
C6	89.00	43.61	42.64	S68°00'41"E	41.83	22.92
C7	89.00	42.55	42.41	S24°29'54"E	41.48	22.67
C8	89.00	62.59	44.07	S70°24'15"W	64.54	37.86
C9	11.00	5.03	5.09	S51°09'10"W	19.21	2.54
C10	11.00	10.16	9.81	S72°16'15"W	28.56	5.07

## LEGEND

---	PROPERTY LINE	---	PROPOSED EASEMENT
---	EXISTING EASEMENT	---	PROPOSED SETBACK
---	EXISTING PAVEMENT	---	PROPOSED PAVEMENT
---	EXISTING OVERHEAD ELECTRIC LINE	---	PROPOSED SIDEWALK
---	EXISTING UNDERGROUND ELECTRIC	---	PROPOSED CURB & GUTTER
---	EXISTING ELECTRIC POLE	---	PROPOSED WATER LINE
---	EXISTING WATER LINE	---	PROPOSED HYDRANT
---	EXISTING HYDRANT	---	PROPOSED VALVE
---	EXISTING VALVE	---	PROPOSED SEWER LINE
---	EXISTING GAS LINE	---	PROPOSED SEWER MANHOLE
---	EXISTING SEWER LINE	---	PROPOSED SEWER
---	EXISTING SEWER MANHOLE	---	PROPOSED STORM SEWER
---	EXISTING STORM SEWER		



PROFESSIONAL SEAL



11-4-22

## REVISIONS

NO. DATE REVISION

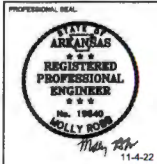
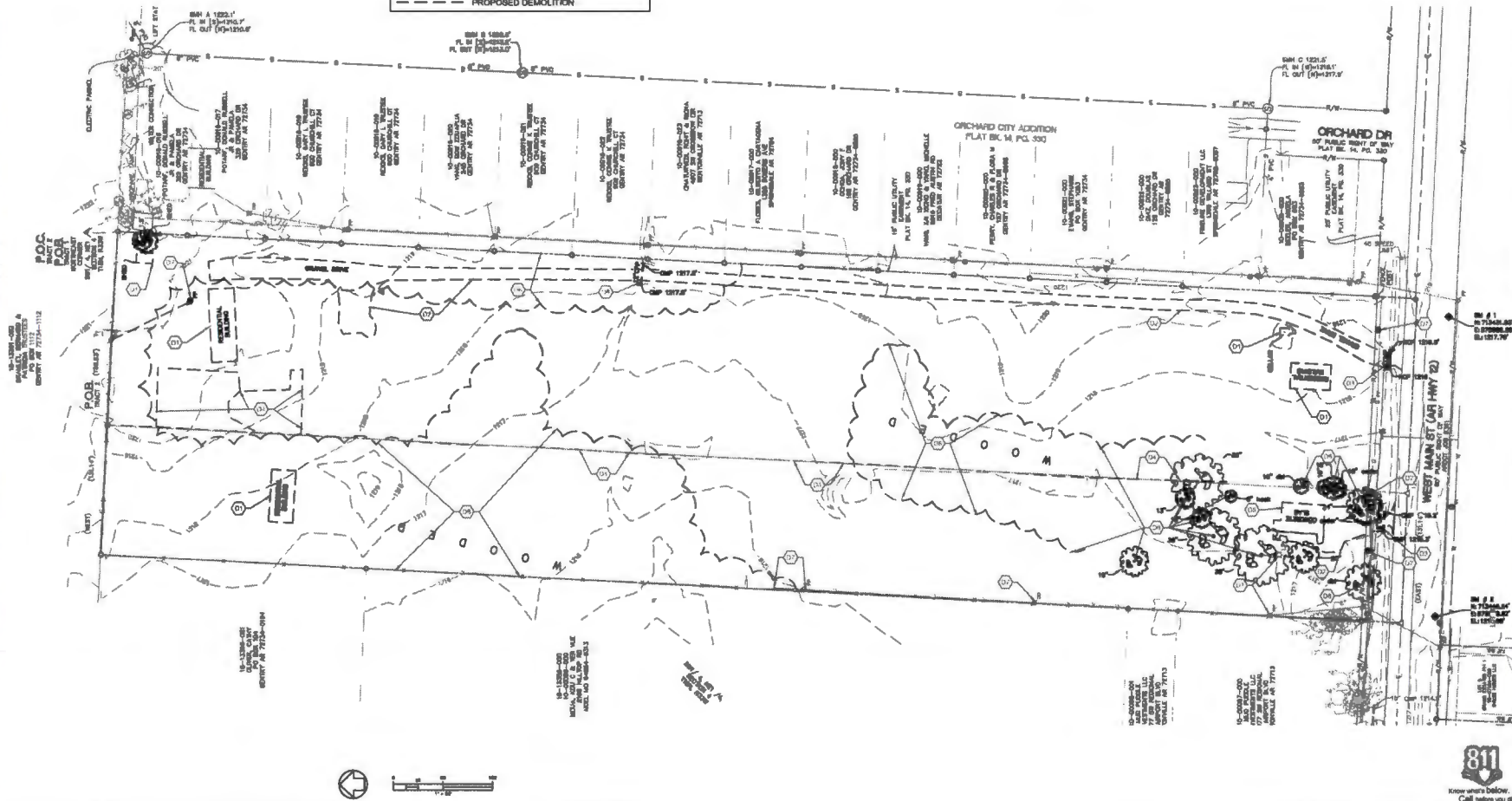


LEGEND	
---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING PAVEMENT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC
○	EXISTING ELECTRIC POLE
○	EXISTING WATER LINE
○	EXISTING HYDRANT
○	EXISTING VALVE
○	EXISTING GAS LINE
○	EXISTING SEWER LINE
○	EXISTING SEWER MANHOLE
---	EXISTING STORM SEWER
---	PROPOSED DEMOLITION

DEMOLITION KEY NOTES:	
D1	REMOVE EXISTING BUILDING. REMOVAL INCLUDES COMPLETE REMOVAL OF STRUCTURE, FOUNDATIONS, UTILITIES, ETC.
D2	REMOVE EXISTING GRAVEL DRIVEWAY.
D3	REMOVE EXISTING PAVED DRIVEWAY & EXISTING CULVERT. REGRADE AREA TO PROVIDE POSITIVE DRAINAGE PER EXISTING CONDITIONS.
D4	REMOVE EXISTING FENCE.
D5	REMOVE EXISTING CONCRETE SLAB.
D6	REMOVE EXISTING TREES.
D7	REMOVE EXISTING UTILITY SERVICES. COORDINATE REMOVAL WITH APPLICABLE UTILITY COMPANY.
D8	REMOVE EXISTING STORM PIPE.

#### DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL ITEMS THAT RESIDE THE PROPER PLACEMENT OF ANY ITEMS PROPOSED BY THIS PLAN SET.
2. THE REMOVAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO: OBTAINING ALL DEMOLITION PERMITS REQUIRED, REMOVAL OF THE EXISTING TREES, SEALING OF THE EXISTING WATER WELLS, REMOVAL OF ANY SEPTIC SYSTEM OR DRY WELLS (IF ANY) AND OTHER ITEMS TO COMPLETE THE REMOVALS.
3. THE CONTRACTOR SHALL REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE ENGINEER WITHIN EIGHT INCHES OF THE PROPOSED BUILDING FOOTPRINT TO THE DEPTH THAT SUCH UNSUITABLE MATERIALS EXIST.
4. THE CONTRACTOR SHALL COORDINATE DISCONNECTION, REMOVAL, AND RELOCATION OF THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES THAT ARE LEVIED BY UTILITY COMPANIES IN CONNECTION WITH DEMOLITION AND REMOVAL OF EXISTING UTILITIES.
5. REFER TO ARKANSAS WATER WELL CONSTRUCTION COMMISSION RULES AND REGULATIONS FOR ACCEPTABLE METHODS OF PLUGGING OR ABANDONING WELLS IF FOUND ON SITE.
6. DISPOSAL OF ALL MATERIALS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL MATERIALS FROM THE SITE ALONG WITH ASSOCIATED PERMITS AND REGULATORY REQUIREMENTS.
7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO ADJACENT LOTS. INTERRUPTION OF SERVICES TO ADJACENT LOTS SHALL NOT OCCUR WITHOUT PROPER APPROVAL. 48 HOURS NOTICE SHALL BE GIVEN TO THE PROPERTY OWNERS PRIOR TO THE CONNECTION OF THE NEW SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH THE CONNECTION OF TEMPORARY UTILITY SERVICES, IF REQUIRED, TO FACILITATE CONSTRUCTION STAGING.
8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. TO BE CLEAR AND FREE OF ANY CONSTRUCTION ACTIVITY AND/OR EXCAVATED AND HAZARDOUS MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.
9. ALL TREES AND BRUSH TO BE COMPLETELY REMOVED INCLUDING STUMPS IN ACCORDANCE WITH THE CITY OF GENTRY DISPOSAL REGULATIONS.



REVISIONS	
NO.	REVISION
1	11.4.2022

**ODYSSEY ENGINEERING**  
 117 PARKWOOD STREET, SUITE 101  
 LOWELL, AR 72745  
 (479) 480-3330  
 AR COA # 4188

**GENTRY SUBDIVISION  
 PRELIMINARY PLAT**  
 1392 W. MAIN ST (HWY 12)  
 GENTRY, AR 72734

PROJECT NO.	DESIGNED BY	REVIEWED BY
000000	MB	MB
PLAN DATE	11.4.2022	

SHEET NAME:  
**DEMOLITION PLAN**

SHEET NO.:  
**C1.0**

EROSION CONTROL KEY NOTES:	
E1	INSTALL SILT BOCK / SILT FENCE. FIELD ADJUST LOCATION AS NECESSARY TO PREVENT SEDIMENT TRACOUT.
E2	INSTALL CONSTRUCTION ENTRANCE. CONTRACTOR TO FIELD ADJUST LOCATION AS NECESSARY.
E3	INSTALL CONCRETE WASHOUT. CONTRACTOR TO FIELD ADJUST LOCATION AS NECESSARY.
E4	INSTALL INLET PROTECTION.
E5	SOIL STOCKPILE TO BE SURROUNDED BY SILT BOCK / SILT FENCE. CONTRACTOR TO FIELD ADJUST STOCKPILE AS NECESSARY.
E6	SWPPP MAILBOX. CONTRACTOR TO FIELD ADJUST LOCATION AS NECESSARY.
E7	INSTALL 18" X 6" SCOURSTOP MAT OR APPROVED EQUAL.



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**ODYSSEY  
ENGINEERING**

117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AR COA # 4188

**GENTRY SUBDIVISION  
PRELIMINARY PLAT**  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734

PROJECT NO:	DESIGNED BY:	REVIEWED BY:
00Y0004	MR	MR
PLAN DATE:	11.4.2022	
SHEET NAME:		
OVERALL GRADING & EROSION CONTROL PLAN		

SHEET NO.

## C1.1









LEGEND	
<p>— 1217 —</p> <p>EXISTING CONTOURS</p> <p>— 1217.00 —</p> <p>EXISTING EASEMENT</p> <p>— — — — —</p> <p>EXISTING PAVEMENT</p> <p>— — — — —</p> <p>EXISTING OVERHEAD ELECTRIC LINE</p> <p>— — — — —</p> <p>EXISTING UNDERGROUND ELECTRIC</p> <p>⊙</p> <p>EXISTING ELECTRIC POLE</p> <p>— — — — —</p> <p>EXISTING WATER LINE</p> <p>⊙</p> <p>EXISTING HYDRANT</p> <p>— — — — —</p> <p>EXISTING VALVE</p> <p>— — — — —</p> <p>EXISTING GAS LINE</p> <p>— — — — —</p> <p>EXISTING SEWER LINE</p> <p>— — — — —</p> <p>EXISTING SEWER MANHOLE</p> <p>— — — — —</p> <p>EXISTING STORM SEWER</p>	<p>— 1217 —</p> <p>PROPOSED CONTOURS</p> <p>G = 1219.00</p> <p>PROPOSED SPOT ELEVATION</p> <p>G = PROPOSED GUTTER</p>

Mosley, R.W.  
11-4-23

[illegible]

**ODYSSEY  
ENGINEERING**

117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AR COA # 4188

GENTRY SUBDIVISION  
PRELIMINARY PLAT  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734

PROJECT NO.	DESIGNED BY	REVIEWED
OCY0004	MR	MR
PLAN DATE:	11.4.2022	

**SHEET NAME:**

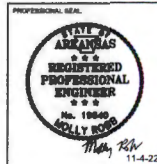
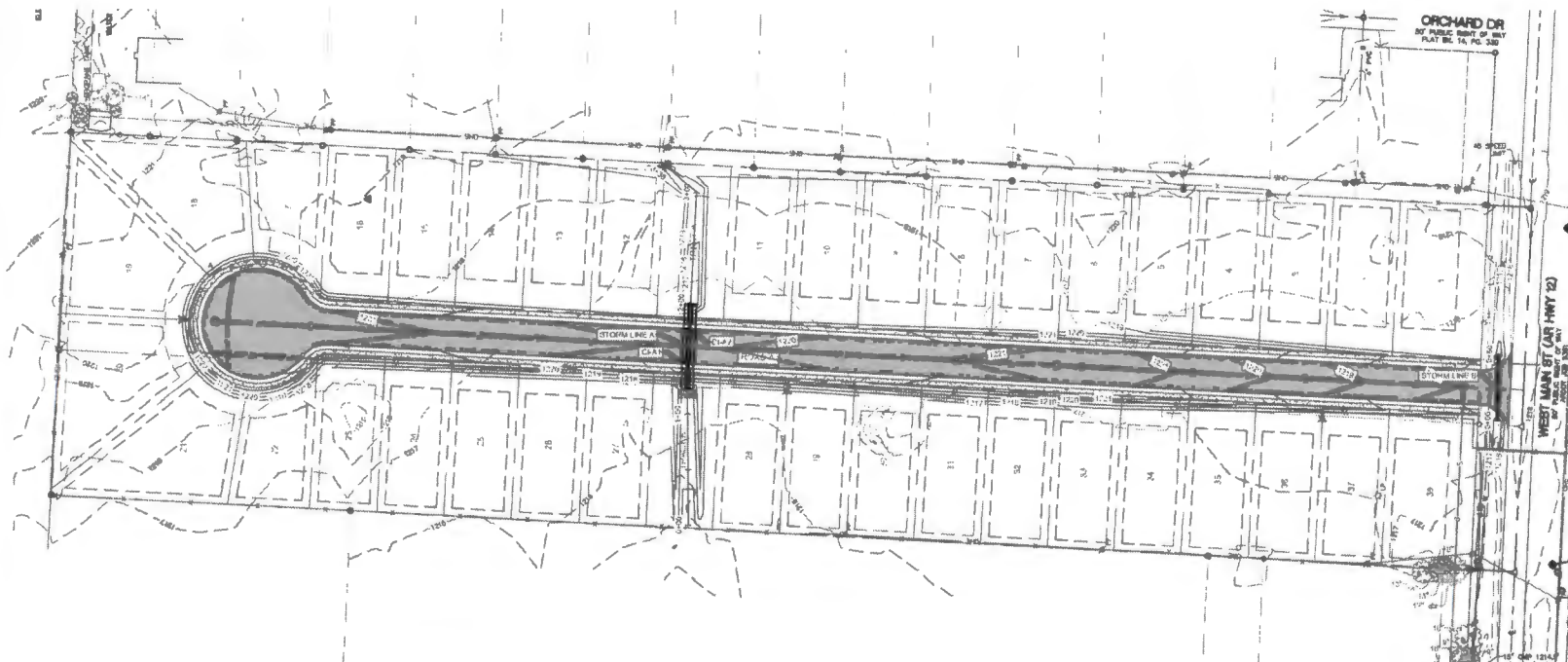
**INTERSECTION  
DETAILS**

SHEET NO.:  
**C1.3**





LEGEND			
---	PROPERTY LINE	---	PROPOSED EASEMENT
---	EXISTING EASEMENT	---	PROPOSED SETBACK
---	EXISTING PAVEMENT	---	PROPOSED PAVEMENT
---	EXISTING OVERHEAD ELECTRIC LINE	---	PROPOSED SIDEWALK
---	EXISTING UNDERGROUND ELECTRIC	---	PROPOSED CURB & GUTTER
⊙	EXISTING ELECTRIC POLE	---	PROPOSED WATER LINE
○	EXISTING WATER LINE	▽	PROPOSED HYDRANT
○	EXISTING HYDRANT	W	PROPOSED VALVE
⊙	EXISTING VALVE	---	PROPOSED SEWER LINE
---	EXISTING GAS LINE	⊙	PROPOSED SEWER MANHOLE
---	EXISTING SEWER LINE	---	PROPOSED STORM SEWER
⊙	EXISTING SEWER MANHOLE	⊙	PROPOSED STORM STRUCTURE
---	EXISTING STORM SEWER	---	PROPOSED CONTOUR
1217	EXISTING CONTOUR		



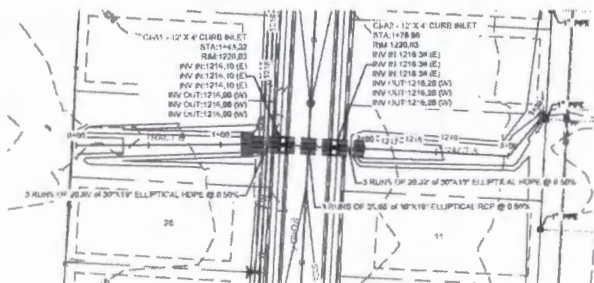
REVISIONS		
NO.	DATE	REVISION

**ODYSSEY ENGINEERING**  
 117 PARKWOOD STREET, SUITE 101  
 LITTLE ROCK, AR 72746  
 (501) 460-3333  
 AR CON # 4188

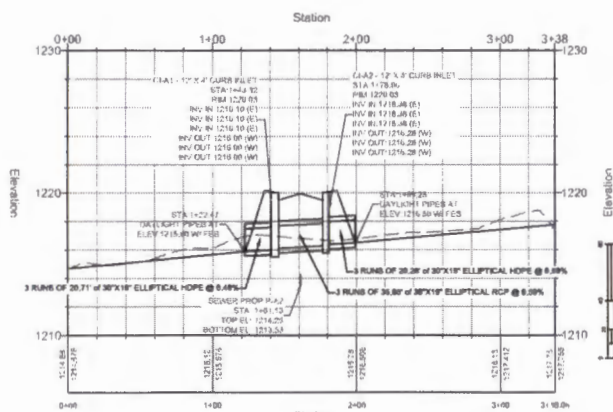
**GENTRY SUBDIVISION  
 PRELIMINARY PLAT  
 1392 W. MAIN ST (HWY 12)  
 GENTRY, AR 72734**

PROJECT NO. DESIGNED BY: M.R.W. REVIEWED BY: M.R.W.  
 PLAN DATE: 11.4.2022  
 SHEET NAME: STORMWATER PLAN

SHEET NO.: **C2.0**



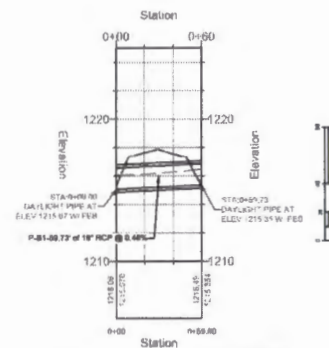
STORM LINE A PLAN



STORM LINE A PROFILE



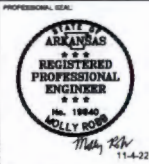
STORM LINE B PLAN



STORM LINE B PROFILE



LEGEND	
---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING PAVEMENT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC
⊕	EXISTING ELECTRIC POLE
○	EXISTING WATER LINE
○	EXISTING HYDRANT
○	EXISTING VALVE
○	EXISTING GAS LINE
○	EXISTING SEWER LINE
⊕	EXISTING SEWER MANHOLE
⊕	EXISTING STORM SEWER
---	EXISTING CONTOUR
---	PROPOSED EASEMENT
---	PROPOSED SETBACK
---	PROPOSED PAVEMENT
---	PROPOSED SIDEWALK
---	PROPOSED CURB & GUTTER
---	PROPOSED WATER LINE
---	PROPOSED HYDRANT
---	PROPOSED VALVE
---	PROPOSED SEWER LINE
⊕	PROPOSED SEWER MANHOLE
⊕	PROPOSED STORM SEWER
⊕	PROPOSED STORM STRUCTURE
---	PROPOSED CONTOUR



REVISIONS		
NO.	DATE	REVISION

**ODYSSEY ENGINEERING**  
 117 PARKWOOD STREET, SUITE 101  
 LITTLE ROCK, AR 72206  
 (501) 440-3330  
 AR CEA # 4188

**GENTRY SUBDIVISION  
 PRELIMINARY PLAN  
 1392 W. MAIN ST (HWY 12)  
 GENTRY, AR 72734**

PROJECT NO	DESIGNED BY	REVIEWED BY
00Y0084	MR	MR
PLAN DATE:	11.4.2022	
SHEET NAME:		
STORM LINE A & B PLAN & PROFILE		

SHEET NO.  
**C2.1**

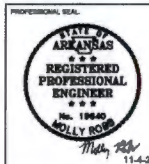


This technical drawing is a plan view of a sanitary sewer system. It features several key elements:

- Proposed Main Sewer Line:** A central horizontal line representing the main sewer pipe, labeled "PROPOSED MAIN SEWER LINE".
- Manholes:** Circular structures along the main line, labeled "PROP. MH #1", "PROP. MH #2", "PROP. MH #3", "PROP. MH #4", and "PROP. MH #5".
- Service Connections:** Branching lines from the main sewer to individual lots, labeled "INSTALL 4\" PVC SEWER SERVICE W/ RICH RD SLEEVE (UNDER ROADWAY) (TYP)".
- Existing Contours:** Dashed lines indicating the ground surface elevation.
- Lot Numbers:** Various numbers (e.g., 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100) identifying individual lots.
- Other Labels:** "ORCHARD DR. BY PUBLIC BODY OF NEW PLAT SEC. 1A, PG. 220", "WEST MAIN ST (AR HWY 12)", "LEWIS ST.", "NEW TOWN SHED", "BOWER MANHOLE", "TRUCK LANE", "TYPICAL", "EXISTING 12\" PVC", "EXISTING 18\" PVC", "EXISTING 24\" PVC", "EXISTING 30\" PVC", "EXISTING 36\" PVC", "EXISTING 42\" PVC", "EXISTING 48\" PVC", "EXISTING 54\" PVC", "EXISTING 60\" PVC", "EXISTING 66\" PVC", "EXISTING 72\" PVC", "EXISTING 78\" PVC", "EXISTING 84\" PVC", "EXISTING 90\" PVC", "EXISTING 96\" PVC", "EXISTING 102\" PVC", "EXISTING 108\" PVC", "EXISTING 114\" PVC", "EXISTING 120\" PVC", "EXISTING 126\" PVC", "EXISTING 132\" PVC", "EXISTING 138\" PVC", "EXISTING 144\" PVC", "EXISTING 150\" PVC", "EXISTING 156\" PVC", "EXISTING 162\" PVC", "EXISTING 168\" PVC", "EXISTING 174\" PVC", "EXISTING 180\" PVC", "EXISTING 186\" PVC", "EXISTING 192\" PVC", "EXISTING 198\" PVC", "EXISTING 204\" PVC", "EXISTING 210\" PVC", "EXISTING 216\" PVC", "EXISTING 222\" PVC", "EXISTING 228\" PVC", "EXISTING 234\" PVC", "EXISTING 240\" PVC", "EXISTING 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PVC", "EXISTING 522\" PVC", "EXISTING 528\" PVC", "EXISTING 534\" PVC", "EXISTING 540\" PVC", "EXISTING 546\" PVC", "EXISTING 552\" PVC", "EXISTING 558\" PVC", "EXISTING 564\" PVC", "EXISTING 570\" PVC", "EXISTING 576\" PVC", "EXISTING 582\" PVC", "EXISTING 588\" PVC", "EXISTING 594\" PVC", "EXISTING 600\" PVC", "EXISTING 606\" PVC", "EXISTING 612\" PVC", "EXISTING 618\" PVC", "EXISTING 624\" PVC", "EXISTING 630\" PVC", "EXISTING 636\" PVC", "EXISTING 642\" PVC", "EXISTING 648\" PVC", "EXISTING 654\" PVC", "EXISTING 660\" PVC", "EXISTING 666\" PVC", "EXISTING 672\" PVC", "EXISTING 678\" PVC", "EXISTING 684\" PVC", "EXISTING 690\" PVC", "EXISTING 696\" PVC", "EXISTING 702\" PVC", "EXISTING 708\" PVC", "EXISTING 714\" PVC", "EXISTING 720\" PVC", "EXISTING 726\" PVC", "EXISTING 732\" PVC", "EXISTING 738\" PVC", "EXISTING 744\" PVC", "EXISTING 750\" PVC", "EXISTING 756\" PVC", "EXISTING 762\" PVC", "EXISTING 768\" PVC", "EXISTING 774\" PVC", "EXISTING 780\" PVC", "EXISTING 786\" PVC", 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SEWER EXTENSION QUANTITIES			
ITEM	QUANTITY	UNIT	AS-BUILT
8" SDR-26 MAIN	1615	LF	
SEWER MANHOLE	6	EA	
16" SDR-26 ENCASEMENT PIPE	80	LF	

\*QUANTITIES PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO CONFIRM QUANTITIES PER APPROVED PLANS.

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**ODYSSEY  
ENGINEERING**

117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AR COA # 4188

**GENTRY SUBDIVISION  
PRELIMINARY PLAT  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734**

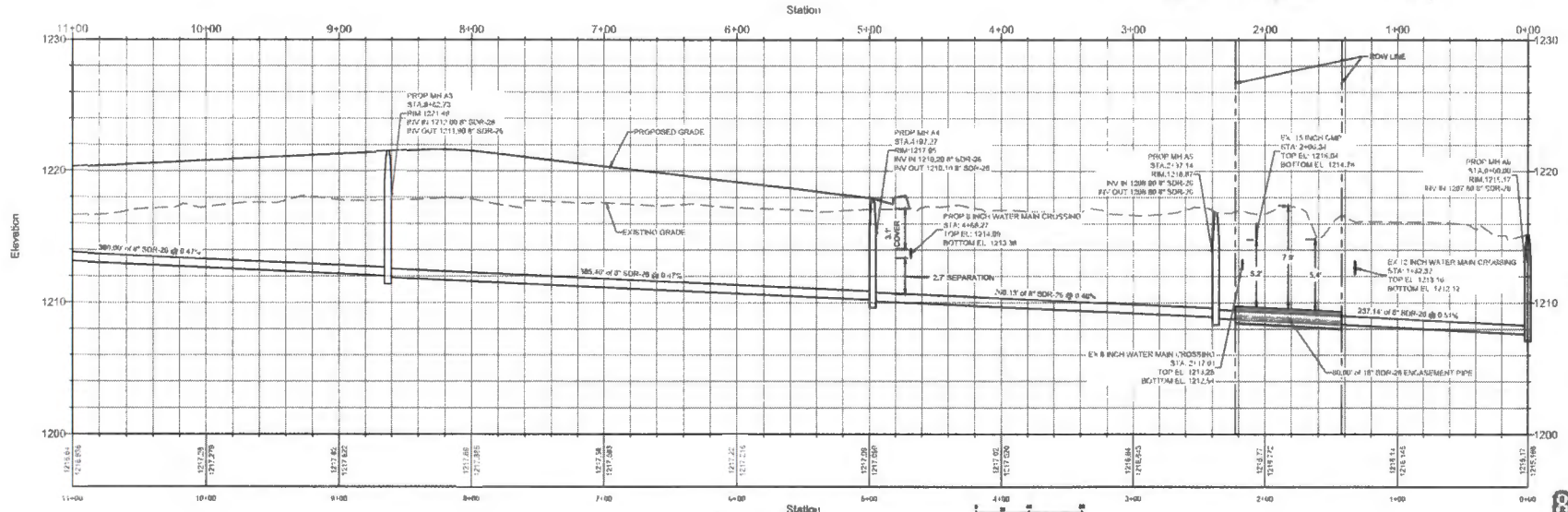
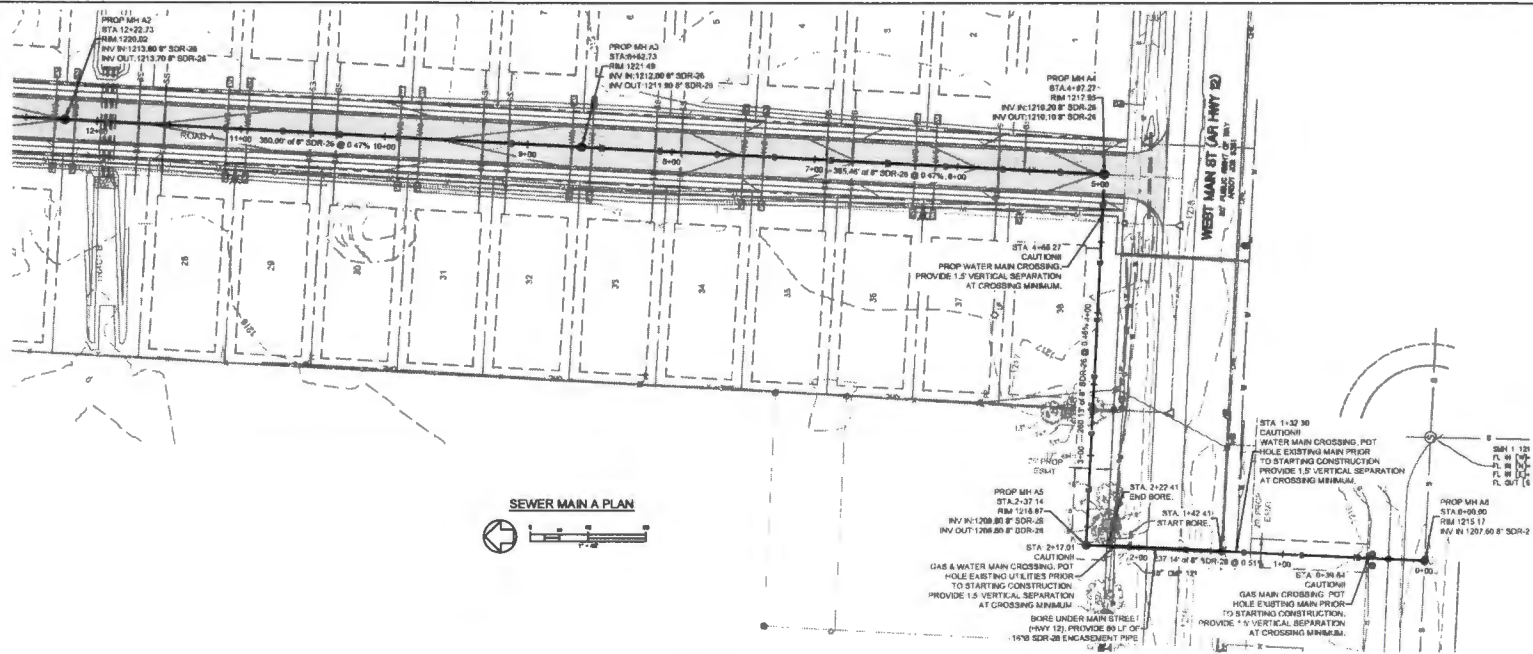
PROJECT NO	DESIGNED BY	REVIEWED BY
00Y0004	MR	MR
PLAN DATE:	11.4.2022	
SHEET NAME:		
SEWER MAIN PLAN		

SHEET NO.:

### C3.0







SEWER MAIN A-1 PROFILE



REVISIONS		
NO.	DATE	REVISION

**ODYSSEY ENGINEERING**  
 117 PARKWOOD STREET, SUITE 101  
 LOWELL, AR 72745  
 (479) 480-3330  
 AR COA # 4188

**GENTRY SUBDIVISION  
 PRELIMINARY PLAT  
 1392 W. MAIN ST (HWY 12)  
 GENTRY, AR 72734**

PROJECT NO.	DESIGNED BY	REVIEWED BY
007-0984	MR	MR
PLAN DATE:	11.4.2022	

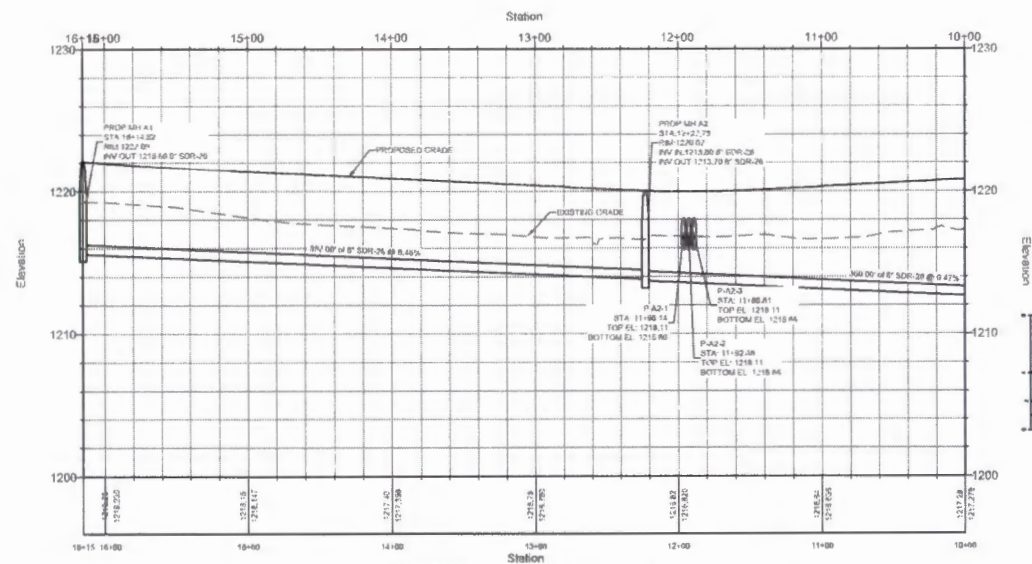
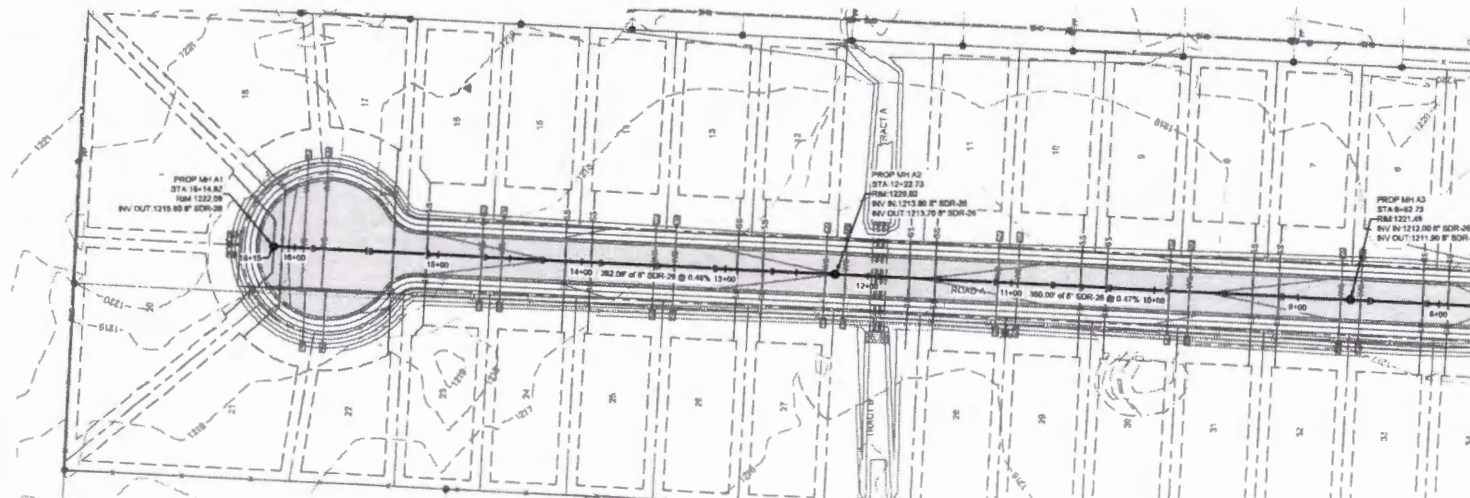
SHEET NAME:  
**SEWER MAIN A  
 PLAN & PROFILE**

SHEET NO.

**C3.1**



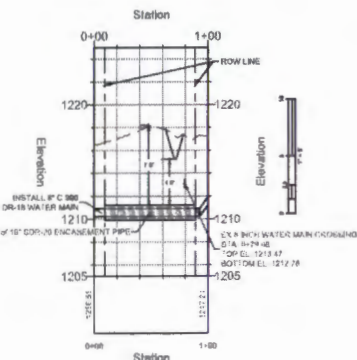




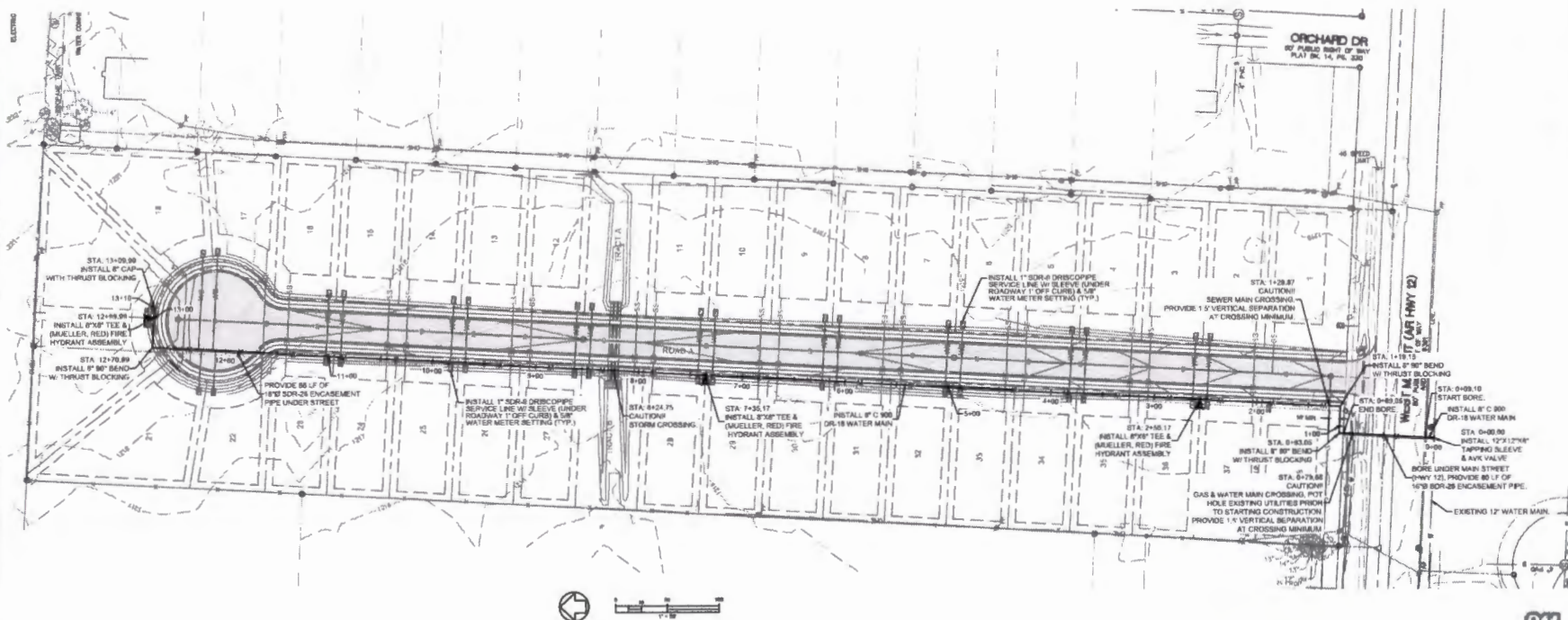
LEGEND	
---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING PAVEMENT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC
⊙	EXISTING ELECTRIC POLE
○	EXISTING WATER LINE
○	EXISTING HYDRANT
⊕	EXISTING VALVE
○	EXISTING GAS LINE
⊕	EXISTING SEWER LINE
⊕	EXISTING SEWER MANHOLE
---	EXISTING STORM SEWER
---	EXISTING CONTOUR
---	PROPOSED WATER LINE
⊕	PROPOSED HYDRANT
⊕	PROPOSED VALVE
---	PROPOSED WATER ENCASUREMENT
---	PROPOSED WATER LATERAL
---	PROPOSED WATER LATERAL ENCASUREMENT
---	PROPOSED WATER METER
---	PROPOSED SEWER LINE
⊕	PROPOSED SEWER MANHOLE
---	PROPOSED STORM SEWER
---	PROPOSED STORM STRUCTURE
---	PROPOSED CONTOUR
---	PROPOSED CONTOUR

WATER EXTENSION QUANTITIES			
ITEM	QUANTITY	UNIT	AS-BUILT
8" C-900 DR-18 MAIN	1310	LF	
FIRE HYDRANT ASSEMBLY	3	EA	
90° BEND	3	EA	
TAPPING SLEEVE	1	EA	
18" SDR-26 ENCASUREMENT PIPE	106	LF	
END CAP	1	EA	

\*QUANTITIES PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO CONFIRM QUANTITIES PER APPROVED PLANS.



ROW Encasement PROFILE



REVISIONS		
NO.	DATE	REVISION

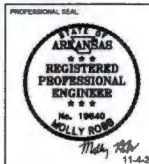
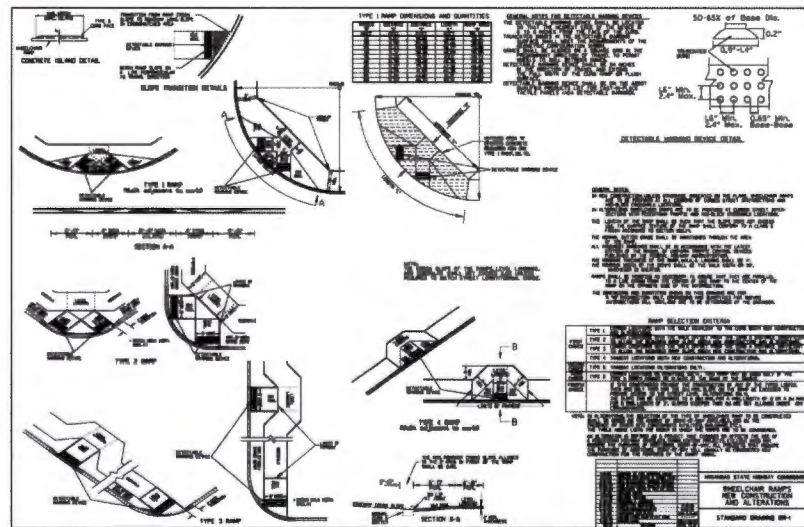
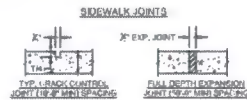
**ODYSSEY ENGINEERING**  
 117 PARKWOOD STREET, SUITE 101  
 LOWELL, AR 72745  
 (870) 490-3330  
 AR CCA # 4188

**GENTRY SUBDIVISION  
 PRELIMINARY PLAT  
 1392 W. MAIN ST (HWY 12)  
 GENTRY, AR 72734**

PROJECT NO.	DESIGNED BY	REVIEWED BY
00Y0904	MR	MR
PLAN DATE:	11-4-2022	
SHEET NAME:	WATER MAIN PLAN	
SHEET NO.	C4.0	





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ENGINEERING**

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LOWELL, AR 72745  
(479) 490-3330  
AR COA # 4188

**GENTRY SUBDIVISION  
PRELIMINARY PLAT  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734**

PROJECT NO	DESIGNED BY	REVIEWED BY
00Y0064	MR	MR
PLAN DATE:	11.4.2022	

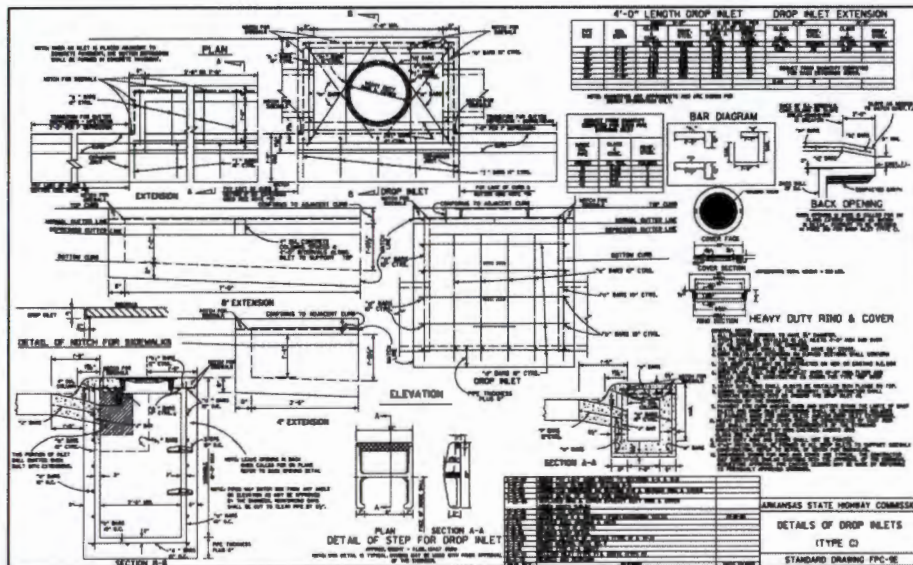
## STREET DETAILS

SHEET NO.:

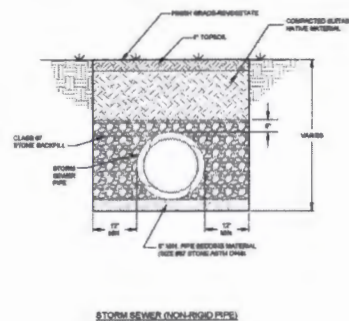
**C5.0**



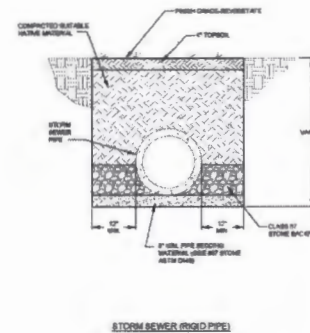




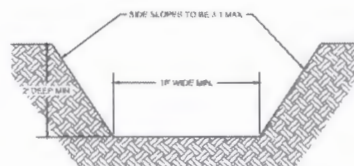
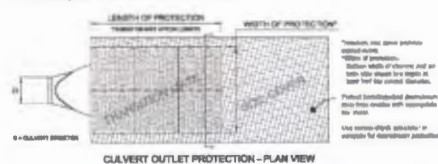
- NOTE:
1. ALL TRENCH EXCAVATION SHALL BE IN ACCORDANCE WITH ARS REQUIREMENTS.
  2. FULL DEPTH CLASS 7 AND BACKFILL COMPACTED TO 95% MODIFIED PROCTOR DENSITY REQUIRED UNDER ALL FINISHES.



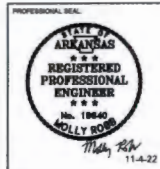
- NOTE:
1. ALL TRENCH EXCAVATION SHALL BE IN ACCORDANCE WITH ARS REQUIREMENTS.
  2. FULL DEPTH CLASS 7 AND BACKFILL COMPACTED TO 95% MODIFIED PROCTOR DENSITY REQUIRED UNDER ALL FINISHES.



1. Stormwater areas must be installed with a well screen and, needed, roof reinforcement (e.g. TPO, PVC, or a waterproof membrane).
2. The drop inlet (or pipe) is to be installed in the recommended and correct.
3. Install manufacturer's recommended foundation (e.g. concrete) to assure proper installation.
4. Install stormwater catchment in accordance with the manufacturer's instructions or other approved design. (See drawing notes.)
5. Performance of potential area contains stable foundations, conditions.



- NOTE:
1. TO BE SLOPED AT 0.8% MIN.
  2. TO BE LINED WITH 180 OR HYDROSEED, DITCH TO BE 180% STABILIZED PRIOR TO APPROVAL OF FINAL PLAN.
- TYPICAL DITCH DETAIL



REVISIONS	NO.	DATE	REVISION

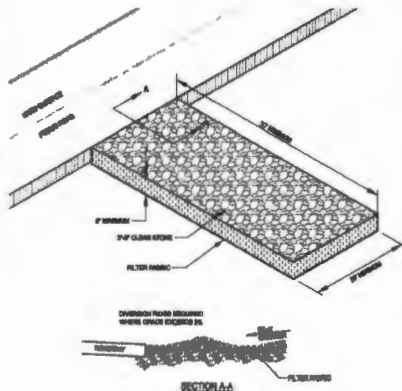
**ODYSSEY ENGINEERING**

117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AR COA # 4188

**GENTRY SUBDIVISION  
PRELIMINARY PLAN  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734**

PROJECT NO.	DESIGNED BY	REVIEWED BY
0001804	MR	MR
PLAN DATE:	11-4-2022	
SHEET NAME:	STORM DETAILS	
SHEET NO.:	C5.1	

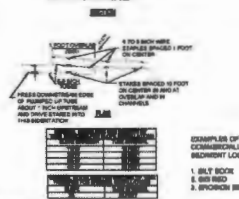
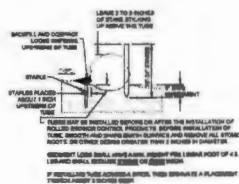




#### NOTES

1. REPLACE CONTAMINATED STONE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OR SOIL ON PUBLIC STREETS.
2. CURB STREETS ONLY WITH BROKEN BROWNS BLOCKS AND STONES. THE USE OF WHITE IS PROHIBITED.
3. ALL VEHICLES MUST USE CONSTRUCTION EGRESS.
4. IF VEHICLES REMAIN IN CONSTRUCTION EGRESS IT SHALL BE DONE ON AN AREA STABILIZED WITH GRASS OR STONE THAT CHANGES INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION EGRESS



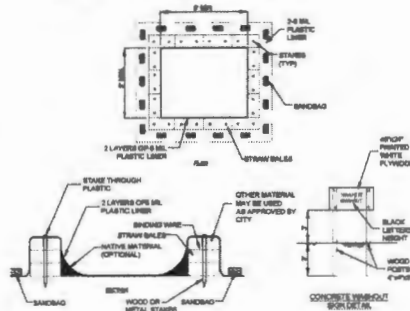
#### SEDIMENT TRAP AND SEDIMENTATION MATERIAL

1. SEDIMENT LOGS SHALL BE INSPECTED ALONG ITS ENTIRETY AND MUST BE CLEARED WHEN SEDIMENT HAS ACCUMULATED TO ONE THIRD THE HEIGHT OF THE SEDIMENT LOG. MAINTENANCE CLEAROUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE THIRD THE HEIGHT OF THE SEDIMENT LOG.
2. SPECIAL ATTENTION SHOULD BE PAID TO INSURE THAT NO UNDERMINING OF SEDIMENT LOG HAS OCCURRED AND THAT NO EROSION IS OCCURRING AT JUNCTION SECTIONS.
3. IF SEDIMENT ACCUMULATED IN ANY SECTION OF A SEDIMENT LOG THE CONTRACTOR SHOULD REPLENISH ADDITIONAL UPSTREAM STABILIZATION MEASURES OR ADDITIONAL BARRIERS TO PREVENT EROSION BUILDUP ON SEDIMENT LOG.
4. SEDIMENT LOG SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED (RUM OR FLATTENED).

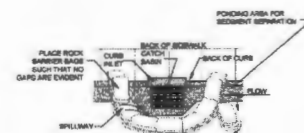
SEDIMENT LOG

#### NOTES

1. NO REMAINS OUT OF CONCRETE TRUCKS OR WASHINGS OF SEDIMENT FROM EXPOSED ADJACENT CONCRETE INTO STORM DRAIN, OPEN DITCHES, STREETS OR EGRESS ARE ALLOWED.
2. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
3. QUALITY TEMPORARY CONCRETE WASHOUT AREAS SHALL BE LOCATED AT LEAST 10 FEET FROM STORM DRAIN, OPEN DITCHES OR WATER BODIES.
4. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED BY SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
5. WASHOUT FACILITIES SHALL BE CLEARED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
6. PLASTIC LINER MATERIAL SHALL BE SHOWN UP OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
7. WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK. THE WASHOUT CONCRETE SHALL BE REMOVED AND DISPOSED OF OFF SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE RECOVERED FROM THE SITE AND DISPOSED OF PROPERLY OR PERMITTED FACILITY OR RECYCLED.



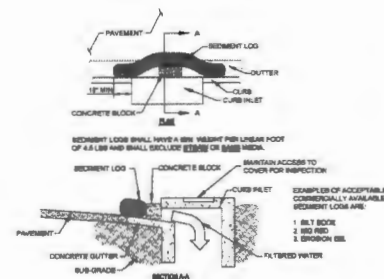
CONCRETE WASHOUT



#### NOTES

1. BASIN OF HEAVY GEOTEXTILE FABRIC FILLED WITH 1/2" CLEAN GRAVEL. MUST BE LINED SUCH THAT NO SAND ARE EVIDENT.
2. LINER CASE ROCK BARRIER BUT NOT IN THE TOP FOOT ON THE SIDE AND FRONT FILLING TO PROVIDE A SPILLWAY OR IN THE CENTER IF PONDING IS REQUIRED ON SOME SITES.
3. PERFECT SEDIMENT AND SEDIMENT DEPOSIT AFTER EACH STORM EVENT. SEDIMENT AND SOILS, LOCATED IN THE TRAVELWAY MUST BE REMOVED IMMEDIATELY.
4. APPLICATION OF THE DEVICE MUST BE APPROVED BY THE CITY BEFORE USE IN AREAS OPEN TO THE MOTORING PUBLIC.

INLET PROTECTION (SUMP)



#### NOTES

1. PLACE SEDIMENT LOGS ALONG PERIMETER OF DRAINAGE BASIN, WITH BRIM OF SEDIMENT LOG OVERLAPPING 12" MIN.
2. PLACEMENT OF SEDIMENT LOGS SHALL EXCEED 12" MIN BEYOND THE LATE OF THE CURB INLET STRUCTURE ON BOTH SIDES.
3. IF SEDIMENT LOGS ARE USED TO PUBLIC, VERIFY BUTTERFLY OF BAP WITH CITY OF PARTNERSHIP SEDIMENTATION DIVISION.

#### MAINTENANCE NOTES

4. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN OR UPSTREAM OF THE INLET.
5. ANY SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BE REMOVED AS SOON AS PRACTICABLE BUT NOT LATER THAN 10 DAYS AFTER DISCOVERY.
6. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FLOW RATES THAT MAY CAUSE CONSIDERABLE FLOODING.
7. CONTACT THE PUBLIC WORKS INSPECTOR AND/OR ENGINEER FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSTREAM BASIN, ADJACENT SLOPES, ETC. DUE TO PONDING RISKS. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
8. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETEIORATION.

INLET PROTECTION (ON GRADE)

PROFESSIONAL SEAL



11-4-22

NO.	DATE	REVISION

**ODYSSEY ENGINEERING**  
117 PARKWOOD STREET, SUITE 101  
LOWELL, AR 72745  
(479) 480-3330  
AUSTIN # 414R

**GENTRY SUBDIVISION PRELIMINARY PLAN**  
1392 W. MAIN ST (HWY 12)  
GENTRY, AR 72734

PROJECT NO.	DESIGNED BY	REVIEWED BY
000000	MR	MR
PLAN DATE:	11-4-2022	
SHEET NAME:	EROSION CONTROL DETAILS	
SHEET NO.	C5.2	





## VICINITY MAP



VICINITY MAP NOT TO SCALE

**ENGINEER/SURVEYOR:**  
BATES & ASSOCIATES, INC  
7230 S PLEASANT RIDGE DRIVE  
FAYETTEVILLE, AR 72704  
PHONE: (479) 442-9350  
EMAIL: GEOFF@BATESNWA.COM

STATE RECORDING NUMBER:  
500-18N-33W-0-02-310-04-1642

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT  
TO THE BEST OF MY KNOWLEDGE AND BELIEF  
ON THIS THE xx DAY OF xxxx, 2022.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL, AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

RECORDING NUMBER DATE



COLLEGE

Location Map  
R-33-W  
T-18-N

[illegible]

FOR USE AND BENEFIT OF: <b>ROTH FAMILY PARTNERSHIP LLP</b>		DATE: 10/12/2022		SCALE: 1"=60'	
ADDRESS: <b>TART &amp; MAIN ST. CENTERT, ARKANSAS 72724</b>		LOCATION: SECTION: 02		SURVEYED: DRAFTED:	
		TOWNSHIP: 18 NORTH		R/S: 2"	
		RANGE: 33 WEST		REVIEWED: DT	

DWC #21-230 FP 1/2

**CERTIFICATE OF OWNER:**

AS OWNER, WE HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND TO BE SURVEYED, DIVIDED, PLATTED, AND ACCESS RIGHTS RESERVED AS PRESENTED TO THIS PLAT AND ATTACHMENTS.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF ARKANSAS  
COUNTY OF \_\_\_\_\_

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

NOTARY PUBLIC

MY COMMISSION EXPIRES

APPROVED AND RECOMMENDED FOR ACCEPTANCE BY THE CITY OF GENTRY

THIS DAY OF , 2022

CENTRY CITY COUNCIL PRINT NAMESTREETS AND UTILITIES PRINT NAMEWATER AND SEWER PRINT NAME

BUILDING INSPECTOR \_\_\_\_\_ PRINT NAME \_\_\_\_\_

FIRE DEPARTMENT (CHIEF) \_\_\_\_\_ PRINT NAME \_\_\_\_\_

PLANNING COMMISSION PRINT NAME

PLAT NOTES:

- 1) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES. ALL UTILITY LINES APPEARING ON THIS PLAT, AS WELL AS THOSE THAT MAY EXIST UNDERGROUND NEED TO BE VERIFIED PRIOR TO DOING ANY TYPE OF EXCAVATION OR DESIGN. SOME UTILITY LINES MAY ALSO EXIST THAT WERE NOT SHOWN ON THIS PLAT.
- 2) THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS ON THIS SITE.
- 3) ROWS AND EASEMENTS ARE AS SHOWN ON PLAT AND DEDICATED BY OWNER'S STATEMENT.
- 4) DEVELOPER TO INSTALL ALL ADA RAMPS AND ALL COMMON PROPERTY SIDEWALKS.
- 5) THE DEVELOPER/ HOME BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SIDEWALKS PRIOR TO CERTIFICATE OF OCCUPANCY, PER CITY OF GENTRY SPECIFICATIONS AND THE AMERICAN DISABILITY ACT
- 6) THE DEVELOPER/ HOME BUILDER SHALL BE RESPONSIBLE FOR REPLACEMENT IN KIND OF ANY EXISTING SIDEWALK OR ADA RAMPS) DAMAGED DURING THEIR CONSTRUCTION ACTIVITIES.
- 7) THIS SUBDIVISION CONSISTS OF 42 BUILDABLE LOTS & 1 OUTLOT.
- 8) ALL STREETS WITHIN THIS SUBDIVISION ARE PUBLIC.
- 9) NO LOTS SHALL HAVE DIRECT ACCESS TO EAST MAIN STREET OR S ROBIN ROAD.
- 10) MET REBAR PINS WITH 1642 CAP EXIST AT ALL LOT CORNERS UNLESS NOTED OTHERWISE.

REFERENCE DOCUMENTS:

- 1) PLAT OF SURVEY FILED IN BOOK 24 AT PAGE 223
- 2) PLAT OF SURVEY FILED IN BOOK L2020 AT PAGE 32709
- 3) PLAT OF SURVEY FILED IN BOOK 2013 AT PAGE 510
- 4) PLAT OF SURVEY FILED IN BOOK X AT PAGE 42
- 5) PLAT OF SURVEY FILED IN BOOK 2007 AT PAGE 704
- 6) FINAL PLAT OF HORNBECK HEIGHTS FILED IN BOOK B AT PAGE 76
- 7) OUTCLAIM DEED FILED IN BOOK L2018 AT PAGE 36927

**SURVEY DESCRIPTION:**

LOTS 19 AND 20 IN HORNBECK HEIGHTS ADDITION TO GENTRY, ARKANSAS, BEING A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 18 NORTH, RANGE 33 WEST, CONTAINING 9.05 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**CERTIFICATE OF SURVEY AND ACCURACY:**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED ON THIS PLAT IS A TRUE AND CORRECT SURVEY AND THAT THE MONUMENTS HAVE BEEN PLACED AS STATED AND AS REQUIRED BY THE SUBDIVISION REGULATIONS OF THE CITY OF GENTRY.

DATE \_\_\_\_\_ REGISTERED LAND SURVEYOR/NO. \_\_\_\_\_

ACREAGE:  
9.05 ACRES +/-

**BASIS OF BEARING:**  
GPS OBSERVATION - AR NORTH ZONE

**BASIS OF ELEVATION:**  
**ON-SITE GPS OBSERVATION**

PROPERTY ZONED:  
R-N

**BUILDING SETBACKS PER ZONING - SINGLE FAMILY:**

FRONT	25ft
SIDE	07ft (INTERIOR)
SIDE	25ft (EXTERIOR BACK TO SIDE)
SIDE	15ft (CORNER BACK TO REAR)
REAR	07ft

**PROPOSED USE:**  
SINGLE-FAMILY RESIDENTIAL

FLOOD CERTIFICATION:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS.  
(FIRM PANEL #05007C0215J. DATED 09/ 28/ 2007)

(FIRM PANEL #05007C0215J, DATED 09/28/2007)



SOUTH ROBIN ROAD  
18' ASPHALT - 50' M.S.P. R.W.



RECORDING NUMBER DATE